

This document is received on 14 JUL 2026  
The Town Planning Board will formally acknowledge  
the date of receipt of the application only upon receipt  
of all the required information and documents.

Form No. S16-III  
表格第 S16-III 號

**APPLICATION FOR PERMISSION  
UNDER SECTION 16 OF  
THE TOWN PLANNING ORDINANCE  
(CAP. 131)**

根據《城市規劃條例》(第131章)  
第16條遞交的許可申請

**Applicable to Proposal Only Involving Temporary Use/Development of Land  
and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas,  
or Renewal of Permission for such Temporary Use or Development\***

適用於祇涉及位於鄉郊地區或受規管地區土地上及/或建築物內進行  
為期不超過三年的臨時用途/發展或該等臨時用途/發展的許可續期的建議\*

*\*Form No. S16-I should be used for other Temporary Use/Development of Land and/or Building (e.g. temporary use/developments in the Urban Area) and Renewal of Permission for such Temporary Use or Development.*

*\*其他土地上及/或建築物內的臨時用途/發展 (例如位於市區內的臨時用途或發展) 及有關該等臨時用途/發展的許可續期，應使用表格第 S16-I 號。*

Applicant who would like to publish the notice of application in local newspapers to meet one of the Town Planning Board's requirements of taking reasonable steps to obtain consent of or give notification to the current land owner, please refer to the following link regarding publishing the notice in the designated newspapers:  
[https://www.tpb.gov.hk/en/plan\\_application/apply.html](https://www.tpb.gov.hk/en/plan_application/apply.html)

申請人如欲在本地報章刊登申請通知，以採取城市規劃委員會就取得現行土地擁有人的同意或通知現行土地擁有人所指定的其中一項合理步驟，請瀏覽以下網址有關在指定的報章刊登通知：  
[https://www.tpb.gov.hk/tc/plan\\_application/apply.html](https://www.tpb.gov.hk/tc/plan_application/apply.html)

**General Note and Annotation for the Form**

**填寫表格的一般指引及註解**

# "Current land owner" means any person whose name is registered in the Land Registry as that of an owner of the land to which the application relates, as at 6 weeks before the application is made

「現行土地擁有人」指在提出申請前六星期，其姓名或名稱已在土地註冊處註冊為該申請所關乎的土地的擁有人的人

& Please attach documentary proof 請夾附證明文件

^ Please insert number where appropriate 請在適當地方註明編號

Please fill "NA" for inapplicable item 請在不適用的項目填寫「不適用」

Please use separate sheets if the space provided is insufficient 如所提供的空間不足，請另頁說明

Please insert a 「✓」 at the appropriate box 請在適當的方格內上加上「✓」號

2601 601

2/7 By Hand

Form No. S16-III 表格第 S16-III 號

|                                 |                         |             |
|---------------------------------|-------------------------|-------------|
| For Official Use Only<br>請勿填寫此欄 | Application No.<br>申請編號 | A/NE-S7K/36 |
|                                 | Date Received<br>收到日期   | 14 JUL 2026 |

- The completed form and supporting documents (if any) should be sent to the Secretary, Town Planning Board (the Board), 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.  
申請人須把填妥的申請表格及其他支持申請的文件 (倘有), 送交香港北角渣華道 333 號北角政府合署 15 樓城市規劃委員會(下稱「委員會」)秘書收。
- Please read the "Guidance Notes" carefully before you fill in this form. The document can be downloaded from the Board's website at <http://www.tpb.gov.hk/>. It can also be obtained from the Secretariat of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong (Tel: 2231 4810 or 2231 4835), and the Planning Enquiry Counters of the Planning Department (Hotline: 2231 5000) (17/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong and 14/F, Sha Tin Government Offices, 1 Sheung Wo Che Road, Sha Tin, New Territories).  
請先細閱《申請須知》的資料單張, 然後填寫此表格。該份文件可從委員會的網頁下載 (網址: <http://www.tpb.gov.hk/>), 亦可向委員會秘書處 (香港北角渣華道 333 號北角政府合署 15 樓 - 電話: 2231 4810 或 2231 4835) 及規劃署的規劃資料查詢處 (熱線: 2231 5000) (香港北角渣華道 333 號北角政府合署 17 樓及新界沙田上禾輦路 1 號沙田政府合署 14 樓) 索取。
- This form can be downloaded from the Board's website, and obtained from the Secretariat of the Board and the Planning Enquiry Counters of the Planning Department. The form should be typed or completed in block letters. The processing of the application may be refused if the required information or the required copies are incomplete.  
此表格可從委員會的網頁下載, 亦可向委員會秘書處及規劃署的規劃資料查詢處索取。申請人須以打印方式或以正楷填寫表格。如果申請人所提交的資料或文件副本不齊全, 委員會可拒絕處理有關申請。

### 1. Name of Applicant 申請人姓名/名稱

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Magic 7 Smart Technology Ltd. (魔7智能科技有限公司)

### 2. Name of Authorised Agent (if applicable) 獲授權代理人姓名/名稱 (如適用)

(☐ Mr. 先生 / ☐ Mrs. 夫人 / ☐ Miss 小姐 / ☐ Ms. 女士 / ☒ Company 公司 / ☐ Organisation 機構)

Lawson David & Sung Surveyors Limited (羅迅測計師行有限公司)

### 3. Application Site 申請地點

|                                                                                                              |                                                                                                                                                                                                                                                                                              |
|--------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a) Full address / location / demarcation district and lot number (if applicable)<br>詳細地址/地點/丈量約份及地段號碼 (如適用) | Lots 1368(Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378(Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398(Part), 1399(Part), 1400(Part), 1401, 1402(Part), 1403 and 1404 in D.D. 41 and Adjoining Government Land, Tong To Ping Tsuen, Sha Tau Kok, N.T. |
| (b) Site area and/or gross floor area involved<br>涉及的地盤面積及/或總樓面面積                                            | <input checked="" type="checkbox"/> Site area 地盤面積 ..... 5,121 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約<br><input checked="" type="checkbox"/> Gross floor area 總樓面面積 ..... 248 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約                                 |
| (c) Area of Government land included (if any)<br>所包括的政府土地面積 (倘有)                                             | ..... 546 ..... sq.m 平方米 <input checked="" type="checkbox"/> About 約                                                                                                                                                                                                                         |

|                                                                      |                                                                                                                                                                                                                |
|----------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (d) Name and number of the related statutory plan(s)<br>有關法定圖則的名稱及編號 | Approved Sha Tau Kok Outline Zoning Plan<br>No. S/NE-STK/2                                                                                                                                                     |
| (e) Land use zone(s) involved<br>涉及的土地用途地帶                           | "Village Type Development" and "Recreation"                                                                                                                                                                    |
| (f) Current use(s)<br>現時用途                                           | Vacant Land and Building<br><br>(If there are any Government, institution or community facilities, please illustrate on plan and specify the use and gross floor area)<br>(如有任何政府、機構或社區設施，請在圖則上顯示，並註明用途及總樓面面積) |

#### 4. "Current Land Owner" of Application Site 申請地點的「現行土地擁有人」

The applicant 申請人 –

- ☐ is the sole "current land owner"<sup>#&</sup> (please proceed to Part 6 and attach documentary proof of ownership).  
是唯一的「現行土地擁有人」<sup>#&</sup> (請繼續填寫第 6 部分，並夾附業權證明文件)。
- ☐ is one of the "current land owners"<sup>#&</sup> (please attach documentary proof of ownership).  
是其中一名「現行土地擁有人」<sup>#&</sup> (請夾附業權證明文件)。
- ☒ is not a "current land owner"<sup>#</sup>.  
並不是「現行土地擁有人」<sup>#</sup>。

- ☐ The application site is entirely on Government land (please proceed to Part 6).  
申請地點完全位於政府土地上 (請繼續填寫第 6 部分)。

#### 5. Statement on Owner's Consent/Notification

就土地擁有人的同意/通知土地擁有人的陳述

- (a) According to the record(s) of the Land Registry as at ..... (DD/MM/YYYY), this application involves a total of ..... "current land owner(s)"<sup>#&</sup>.  
根據土地註冊處截至 ..... 年 ..... 月 ..... 日的記錄，這宗申請共牽涉 ..... 名「現行土地擁有人」<sup>#</sup>。

(b) The applicant 申請人 –

- ☐ has obtained consent(s) of ..... "current land owner(s)"<sup>#&</sup>.  
已取得 ..... 名「現行土地擁有人」<sup>#&</sup>的同意。

| Details of consent of "current land owner(s)" <sup>#</sup> obtained 取得「現行土地擁有人」 <sup>#</sup> 同意的詳情 |                                                                                                                                                |                                                          |
|----------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| No. of 'Current Land Owner(s)'<br>「現行土地擁有人」數目                                                      | Lot number/address of premises as shown in the record of the Land Registry where consent(s) has/have been obtained<br>根據土地註冊處記錄已獲得同意的地段號碼/處所地址 | Date of consent obtained (DD/MM/YYYY)<br>取得同意的日期 (日/月/年) |
|                                                                                                    |                                                                                                                                                |                                                          |
|                                                                                                    |                                                                                                                                                |                                                          |
|                                                                                                    |                                                                                                                                                |                                                          |

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☐ has notified ..... "current land owner(s)"<sup>#</sup>  
已通知 ..... 名「現行土地擁有人」<sup>#</sup>。

| Details of the "current land owner(s)" <sup>#</sup> notified 已獲通知「現行土地擁有人」 <sup>#</sup> 的詳細資料 |                                                                                                                                                  |                                                           |
|-----------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|
| No. of 'Current Land Owner(s)'<br>「現行土地擁有人」數目                                                 | Lot number/address of premises as shown in the record of the Land Registry where notification(s) has/have been given<br>根據土地註冊處記錄已發出通知的地段號碼／處所地址 | Date of notification given<br>(DD/MM/YYYY)<br>通知日期(日/月/年) |
|                                                                                               |                                                                                                                                                  |                                                           |
|                                                                                               |                                                                                                                                                  |                                                           |
|                                                                                               |                                                                                                                                                  |                                                           |

(Please use separate sheets if the space of any box above is insufficient. 如上列任何方格的空間不足，請另頁說明)

- ☒ has taken reasonable steps to obtain consent of or give notification to owner(s):  
已採取合理步驟以取得土地擁有人的同意或向該人發給通知。詳情如下：

Reasonable Steps to Obtain Consent of Owner(s) 取得土地擁有人的同意所採取的合理步驟

- ☐ sent request for consent to the "current land owner(s)" on \_\_\_\_\_ (DD/MM/YYYY)<sup>#&</sup>  
於 \_\_\_\_\_ (日/月/年)向每一名「現行土地擁有人」<sup>#</sup>郵遞要求同意書<sup>&</sup>

Reasonable Steps to Give Notification to Owner(s) 向土地擁有人發出通知所採取的合理步驟

- ☐ published notices in local newspapers on \_\_\_\_\_ (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在指定報章就申請刊登一次通知<sup>&</sup>
- ☒ posted notice in a prominent position on or near application site/premises on  
17.6.2026 - 30.6.2026 (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)在申請地點／申請處所或附近的顯明位置貼出關於該申請的通知<sup>&</sup>
- ☒ sent notice to relevant owners' corporation(s)/owners' committee(s)/mutual aid committee(s)/management office(s) or rural committee on 25.6.2026 (DD/MM/YYYY)<sup>&</sup>  
於 \_\_\_\_\_ (日/月/年)把通知寄往相關的業主立案法團/業主委員會/互助委員會或管理處，或有關的鄉事委員會<sup>&</sup>

Others 其他

- ☐ others (please specify)  
其他（請指明）

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Note: May insert more than one 「✓」.

Information should be provided on the basis of each and every lot (if applicable) and premises (if any) in respect of the application.

註：可在多於一個方格內加上「✓」號

申請人須就申請涉及的每一地段（倘適用）及處所（倘有）分別提供資料

**6. Type(s) of Application 申請類別****(A) Temporary Use/Development of Land and/or Building Not Exceeding 3 Years in Rural Areas or Regulated Areas**

位於鄉郊地區或受規管地區土地上及/或建築物內進行為期不超過三年的臨時用途/發展

(For Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas, please proceed to Part (B))

(如屬位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期，請填寫(B)部分)

(a) Proposed use(s)/development  
擬議用途/發展

Proposed Temporary Drone Training Centre with Ancillary Facilities

(Please illustrate the details of the proposal on a layout plan) (請用平面圖說明擬議詳情)

(b) Effective period of permission applied for  
申請的許可有效期☒ year(s) 年 ..... 3☐ month(s) 個月 .....**(c) Development Schedule 發展細節表**

Proposed uncovered land area 擬議露天土地面積 ..... 4,955 .....sq.m ☒ About 約

Proposed covered land area 擬議有上蓋土地面積 ..... 166 .....sq.m ☒ About 約

Proposed number of buildings/structures 擬議建築物/構築物數目 ..... 6 .....

Proposed domestic floor area 擬議住用樓面面積 ..... NA .....sq.m ☐ About 約

Proposed non-domestic floor area 擬議非住用樓面面積 ..... 248 .....sq.m ☒ About 約

Proposed gross floor area 擬議總樓面面積 ..... 248 .....sq.m ☒ About 約

Proposed height and use(s) of different floors of buildings/structures (if applicable) 建築物/構築物的擬議高度及不同樓層的擬議用途 (如適用) (Please use separate sheets if the space below is insufficient) (如以下空間不足，請另頁說明)

Five 1-storey SUA Training Rooms (Height: About 3m) .....

One 2-storey Ancillary Reception/Site Office/Rain Shelter (Height: About 5m) .....

Proposed number of car parking spaces by types 不同種類停車位的擬議數目

Private Car Parking Spaces 私家車車位 ..... 4 (2.5m x 5m) .....

Motorcycle Parking Spaces 電單車車位 ..... NA .....

Light Goods Vehicle Parking Spaces 輕型貨車泊車位 ..... NA .....

Medium Goods Vehicle Parking Spaces 中型貨車泊車位 ..... NA .....

Heavy Goods Vehicle Parking Spaces 重型貨車泊車位 ..... NA .....

Others (Please Specify) 其他 (請列明) ..... 1 (24-seat minibus, 3.5m x 7m) .....

Proposed number of loading/unloading spaces 上落客貨車位的擬議數目

Taxi Spaces 的士車位 ..... NA .....

Coach Spaces 旅遊巴車位 ..... NA .....

Light Goods Vehicle Spaces 輕型貨車車位 ..... NA .....

Medium Goods Vehicle Spaces 中型貨車車位 ..... NA .....

Heavy Goods Vehicle Spaces 重型貨車車位 ..... NA .....

Others (Please Specify) 其他 (請列明) ..... NA .....

|                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| Proposed operating hours 擬議營運時間<br>9:00 am - 6:00 pm (Wednesdays to Sundays, including Public Holidays).....<br>.....                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |
| (d) Any vehicular access to the site/subject building?<br>是否有車路通往地盤／有關建築物？                                                                                                                                                                                                 | Yes 是                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <input checked="" type="checkbox"/> There is an existing access. (please indicate the street name, where appropriate)<br>有一條現有車路。(請註明車路名稱(如適用))<br>Access road lead to Sha Tau Kok Road-Shek Chung Au.....<br><input type="checkbox"/> There is a proposed access. (please illustrate on plan and specify the width)<br>有一條擬議車路。(請在圖則顯示，並註明車路的闊度)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |
|                                                                                                                                                                                                                                                                            | No 否                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <input type="checkbox"/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |
| (e) Impacts of Development Proposal 擬議發展計劃的影響<br>(If necessary, please use separate sheets to indicate the proposed measures to minimise possible adverse impacts or give justifications/reasons for not providing such measures. 如需要的話，請另頁註明可盡量減少可能出現不良影響的措施，否則請提供理據/理由。) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |
| (i) Does the development proposal involve alteration of existing building?<br>擬議發展計劃是否包括現有建築物的改動？                                                                                                                                                                          | Yes 是                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <input checked="" type="checkbox"/> Please provide details 請提供詳情<br>The existing structure on the Application Site will be renovated to ancillary reception, site office and rain shelter.....<br>.....<br>No 否 <input type="checkbox"/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |
| (ii) Does the development proposal involve the operation on the right?<br>擬議發展是否涉及右列的工程？                                                                                                                                                                                   | Yes 是                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <input type="checkbox"/> (Please indicate on site plan the boundary of concerned land/pond(s), and particulars of stream diversion, the extent of filling of land/pond(s) and/or excavation of land)<br>(請用地盤平面圖顯示有關土地／池塘界線，以及河道改道、填塘、填土及／或挖土的細節及／或範圍)<br><input type="checkbox"/> Diversion of stream 河道改道<br><input type="checkbox"/> Filling of pond 填塘<br>Area of filling 填塘面積 ..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of filling 填塘深度 ..... m 米 <input type="checkbox"/> About 約<br><input type="checkbox"/> Filling of land 填土<br>Area of filling 填土面積 ..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of filling 填土厚度 ..... m 米 <input type="checkbox"/> About 約<br><input type="checkbox"/> Excavation of land 挖土<br>Area of excavation 挖土面積..... sq.m 平方米 <input type="checkbox"/> About 約<br>Depth of excavation 挖土深度 .....m 米 <input type="checkbox"/> About 約 |  |
|                                                                                                                                                                                                                                                                            | No 否                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <input checked="" type="checkbox"/>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |
| (iii) Would the development proposal cause any adverse impacts?<br>擬議發展計劃會否造成不良影響？                                                                                                                                                                                         | On environment 對環境 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On traffic 對交通 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On water supply 對供水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On drainage 對排水 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>On slopes 對斜坡 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Affected by slopes 受斜坡影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Landscape Impact 構成景觀影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Tree Felling 砍伐樹木 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Visual Impact 構成視覺影響 Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>Others (Please Specify) 其他 (請列明) Yes 會 <input type="checkbox"/> No 不會 <input checked="" type="checkbox"/><br>_____<br>_____ |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |
|                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |

|  |                                                                                                                                                                                                                                                                                                          |
|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  | <p>Please state measure(s) to minimise the impact(s). For tree felling, please state the number, diameter at breast height and species of the affected trees (if possible)</p> <p>請註明盡量減少影響的措施。如涉及砍伐樹木，請說明受影響樹木的數目、及胸高度的樹幹直徑及品種(倘可)</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> |
|--|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**(B) Renewal of Permission for Temporary Use or Development in Rural Areas or Regulated Areas**  
 位於鄉郊地區或受規管地區臨時用途/發展的許可續期

|                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|----------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a) Application number to which the permission relates<br>與許可有關的申請編號 | A/ _____ / _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| (b) Date of approval<br>獲批給許可的日期                                     | ..... (DD 日/MM 月/YYYY 年)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| (c) Date of expiry<br>許可屆滿日期                                         | ..... (DD 日/MM 月/YYYY 年)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| (d) Approved use/development<br>已批給許可的用途/發展                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| (e) Approval conditions<br>附帶條件                                      | <p><input type="checkbox"/> The permission does not have any approval condition<br/>許可並沒有任何附帶條件</p> <p><input type="checkbox"/> Applicant has complied with all the approval conditions<br/>申請人已履行全部附帶條件</p> <p><input type="checkbox"/> Applicant has not yet complied with the following approval condition(s):<br/>申請人仍未履行下列附帶條件：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>Reason(s) for non-compliance:<br/>仍未履行的原因：</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>(Please use separate sheets if the space above is insufficient)<br/>(如以上空間不足，請另頁說明)</p> |
| (f) Renewal period sought<br>要求的續期期間                                 | <p><input type="checkbox"/> year(s) 年 .....</p> <p><input type="checkbox"/> month(s) 個月 .....</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

|                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>7. Justifications 理由</b></p> <p>The applicant is invited to provide justifications in support of the application. Use separate sheets if necessary.<br/>現請申請人提供申請理由及支持其申請的資料。如有需要，請另頁說明）。</p> <p>Please refer to the Planning Statement attached.</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Please refer to the Planning Statement attached.

**8. Declaration 聲明**

I hereby declare that the particulars given in this application are correct and true to the best of my knowledge and belief.  
本人謹此聲明，本人就這宗申請提交的資料，據本人所知及所信，均屬真實無誤。

I hereby grant a permission to the Board to copy all the materials submitted in this application and/or to upload such materials to the Board's website for browsing and downloading by the public free-of-charge at the Board's discretion.  
本人現准許委員會酌情將本人就此申請所提交的所有資料複製及/或上載至委員會網站，供公眾免費瀏覽或下載。

Signature  
簽署

☐ Applicant 申請人 / ☒ Authorised Agent 獲授權代理人

Cannis Lee

Associate Director (Planning)

Name in Block Letters  
姓名（請以正楷填寫）

Position (if applicable)  
職位（如適用）

Professional Qualification(s)  
專業資格

☒ Member 會員 / ☐ Fellow of 資深會員

☐ HKIP 香港規劃師學會 /

☐ HKIA 香港建築師學會 /

☐ HKIS 香港測量師學會 /

☐ HKIE 香港工程師學會 /

☐ HKILA 香港園境師學會 /

☐ HKIUD 香港城市設計學會

☐ RPP 註冊專業規劃師

Others 其他 ..... MPIA

on behalf of  
代表

Lawson David & Sung Surveyors Limited

☒ Company 公司 / ☐ Organisation Name and Chop (if applicable) 機構名稱及蓋章（如適用）

Date 日期

2.7.2026

(DD/MM/YYYY 日/月/年)

**Remark 備註**

The materials submitted in this application and the Board's decision on the application would be disclosed to the public. Such materials would also be uploaded to the Board's website for browsing and free downloading by the public where the Board considers appropriate.

委員會會向公眾披露申請人所遞交的申請資料和委員會對申請所作的決定。在委員會認為合適的情況下，有關申請資料亦會上載至委員會網頁供公眾免費瀏覽及下載。

**Warning 警告**

Any person who knowingly or wilfully makes any statement or furnish any information in connection with this application, which is false in any material particular, shall be liable to an offence under the Crimes Ordinance.

任何人在明知或故意的情況下，就這宗申請提出在任何要項上是虛假的陳述或資料，即屬違反《刑事罪行條例》。

**Statement on Personal Data 個人資料的聲明**

1. The personal data submitted to the Board in this application will be used by the Secretary of the Board and Government departments for the following purposes:

委員會就這宗申請所收到的個人資料會交給委員會秘書及政府部門，以根據《城市規劃條例》及相關的城市規劃委員會規劃指引的規定作以下用途：

- (a) the processing of this application which includes making available the name of the applicant for public inspection when making available this application for public inspection; and  
處理這宗申請，包括公布這宗申請供公眾查閱，同時公布申請人的姓名供公眾查閱；以及
- (b) facilitating communication between the applicant and the Secretary of the Board/Government departments.  
方便申請人與委員會秘書及政府部門之間進行聯絡。

2. The personal data provided by the applicant in this application may also be disclosed to other persons for the purposes mentioned in paragraph 1 above.

申請人就這宗申請提供的個人資料，或亦會向其他人士披露，以作上述第 1 段提及的用途。

3. An applicant has a right of access and correction with respect to his/her personal data as provided under the Personal Data (Privacy) Ordinance (Cap. 486). Request for personal data access and correction should be addressed to the Secretary of the Board at 15/F, North Point Government Offices, 333 Java Road, North Point, Hong Kong.

根據《個人資料(私隱)條例》(第 486 章)的規定，申請人有權查閱及更正其個人資料。如欲查閱及更正個人資料，應向委員會秘書提出有關要求，其地址為香港北角渣華道 333 號北角政府合署 15 樓。

|                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Gist of Application 申請摘要</b><br>(Please provide details in both English and Chinese <u>as far as possible</u> . This part will be circulated to relevant consultees, uploaded to the Town Planning Board's Website for browsing and free downloading by the public and available at the Planning Enquiry Counters of the Planning Department for general information.)<br>(請盡量以英文及中文填寫。此部分將會發送予相關諮詢人士、上載至城市規劃委員會網頁供公眾免費瀏覽及下載及於規劃署規劃資料查詢處供一般參閱。) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| Application No.<br>申請編號                                                                                                                                                                                                                                                                                                                                                                                                                            | (For Official Use Only) (請勿填寫此欄)                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Location/address<br>位置／地址                                                                                                                                                                                                                                                                                                                                                                                                                          | Lots 1368(Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378(Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398(Part), 1399(Part), 1400(Part), 1401, 1402(Part), 1403 and 1404 in D.D. 41 and Adjoining Government Land, Tong To Ping Tsuen, Sha Tau Kok, N.T.                                                                                                                                                                                                           |
| Site area<br>地盤面積                                                                                                                                                                                                                                                                                                                                                                                                                                  | 5,121 sq. m 平方米 <input checked="" type="checkbox"/> About 約<br>(includes Government land of 包括政府土地 546 sq. m 平方米 <input checked="" type="checkbox"/> About 約)                                                                                                                                                                                                                                                                                                                                          |
| Plan<br>圖則                                                                                                                                                                                                                                                                                                                                                                                                                                         | Approved Sha Tau Kok Outline Zoning Plan No. S/NE-STK/2                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Zoning<br>地帶                                                                                                                                                                                                                                                                                                                                                                                                                                       | "Village Type Development" and "Recreation"                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| Type of Application<br>申請類別                                                                                                                                                                                                                                                                                                                                                                                                                        | <input checked="" type="checkbox"/> Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區的臨時用途/發展為期<br><input checked="" type="checkbox"/> Year(s) 年 <u>3</u> <input type="checkbox"/> Month(s) 月 _____<br><input type="checkbox"/> Renewal of Planning Approval for Temporary Use/Development in Rural Areas or Regulated Areas for a Period of 位於鄉郊地區或受規管地區臨時用途/發展的規劃許可續期為期<br><input type="checkbox"/> Year(s) 年 _____ <input type="checkbox"/> Month(s) 月 _____ |
| Applied use/<br>development<br>申請用途/發展                                                                                                                                                                                                                                                                                                                                                                                                             | Proposed Temporary Drone Training Centre with Ancillary Facilities for a Period of 3 Years                                                                                                                                                                                                                                                                                                                                                                                                             |

|                                                                          |                                                                                                                                                                                                                                                                              |                                                                                               |                                                                                                |
|--------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| (i) Gross floor area and/or plot ratio<br>總樓面面積及／或地積比率                   |                                                                                                                                                                                                                                                                              | sq.m 平方米                                                                                      | Plot Ratio 地積比率                                                                                |
|                                                                          | Domestic<br>住用                                                                                                                                                                                                                                                               | NA <input type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於             | NA <input type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於              |
|                                                                          | Non-domestic<br>非住用                                                                                                                                                                                                                                                          | 248 <input checked="" type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於 | 0.05 <input checked="" type="checkbox"/> About 約<br><input type="checkbox"/> Not more than 不多於 |
| (ii) No. of blocks<br>幢數                                                 | Domestic<br>住用                                                                                                                                                                                                                                                               | NA                                                                                            |                                                                                                |
|                                                                          | Non-domestic<br>非住用                                                                                                                                                                                                                                                          | 6                                                                                             |                                                                                                |
| (iii) Building height/No. of storeys<br>建築物高度／層數                         | Domestic<br>住用                                                                                                                                                                                                                                                               | NA <input type="checkbox"/> (Not more than 不多於) m 米                                           |                                                                                                |
|                                                                          |                                                                                                                                                                                                                                                                              | NA <input type="checkbox"/> (Not more than 不多於) Storeys(s) 層                                  |                                                                                                |
|                                                                          | Non-domestic<br>非住用                                                                                                                                                                                                                                                          | 3 - 5 <input checked="" type="checkbox"/> (Not more than 不多於) m 米                             |                                                                                                |
|                                                                          |                                                                                                                                                                                                                                                                              | 1 - 2 <input checked="" type="checkbox"/> (Not more than 不多於) Storeys(s) 層                    |                                                                                                |
| (iv) Site coverage<br>上蓋面積                                               | 3.2 % <input checked="" type="checkbox"/> About 約                                                                                                                                                                                                                            |                                                                                               |                                                                                                |
| (v) No. of parking spaces and loading / unloading spaces<br>停車位及上落客貨車位數目 | Total no. of vehicle parking spaces 停車位總數                                                                                                                                                                                                                                    |                                                                                               | 5                                                                                              |
|                                                                          | Private Car Parking Spaces 私家車車位<br>Motorcycle Parking Spaces 電單車車位<br>Light Goods Vehicle Parking Spaces 輕型貨車泊車位<br>Medium Goods Vehicle Parking Spaces 中型貨車泊車位<br>Heavy Goods Vehicle Parking Spaces 重型貨車泊車位<br>Others (Please Specify) 其他 (請列明)<br><u>24-seat minibus</u> |                                                                                               | 4 (2.5m x 5m)<br>NA<br>NA<br>NA<br>NA<br>1 (3.5m x 7m)                                         |
|                                                                          | Total no. of vehicle loading/unloading bays/lay-bys<br>上落客貨車位／停車處總數                                                                                                                                                                                                          |                                                                                               | NA                                                                                             |
|                                                                          | Taxi Spaces 的士車位<br>Coach Spaces 旅遊巴車位<br>Light Goods Vehicle Spaces 輕型貨車車位<br>Medium Goods Vehicle Spaces 中型貨車位<br>Heavy Goods Vehicle Spaces 重型貨車車位<br>Others (Please Specify) 其他 (請列明)<br>_____<br>_____                                                                  |                                                                                               | NA<br>NA<br>NA<br>NA<br>NA<br>NA                                                               |

| Submitted Plans, Drawings and Documents 提交的圖則、繪圖及文件                                                                           |                          |                                     |
|-------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|
|                                                                                                                               | <u>Chinese</u><br>中文     | <u>English</u><br>英文                |
| <b><u>Plans and Drawings 圖則及繪圖</u></b>                                                                                        |                          |                                     |
| Master layout plan(s)/Layout plan(s) 總綱發展藍圖／布局設計圖                                                                             | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Block plan(s) 樓宇位置圖                                                                                                           | <input type="checkbox"/> | <input type="checkbox"/>            |
| Floor plan(s) 樓宇平面圖                                                                                                           | <input type="checkbox"/> | <input type="checkbox"/>            |
| Sectional plan(s) 截視圖                                                                                                         | <input type="checkbox"/> | <input type="checkbox"/>            |
| Elevation(s) 立視圖                                                                                                              | <input type="checkbox"/> | <input type="checkbox"/>            |
| Photomontage(s) showing the proposed development 顯示擬議發展的合成照片                                                                  | <input type="checkbox"/> | <input type="checkbox"/>            |
| Master landscape plan(s)/Landscape plan(s) 園境設計總圖／園境設計圖                                                                       | <input type="checkbox"/> | <input type="checkbox"/>            |
| Others (please specify) 其他（請註明）                                                                                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <u>Location Plan, Lot Index Plan, Plan showing Vehicular Access to the Application Site, Swept Path Analysis, Site Photos</u> |                          |                                     |
| <b><u>Reports 報告書</u></b>                                                                                                     |                          |                                     |
| Planning Statement/Justifications 規劃綱領/理據                                                                                     | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| Environmental assessment (noise, air and/or water pollutions)<br>環境評估（噪音、空氣及／或水的污染）                                           | <input type="checkbox"/> | <input type="checkbox"/>            |
| Traffic impact assessment (on vehicles) 就車輛的交通影響評估                                                                            | <input type="checkbox"/> | <input type="checkbox"/>            |
| Traffic impact assessment (on pedestrians) 就行人的交通影響評估                                                                         | <input type="checkbox"/> | <input type="checkbox"/>            |
| Visual impact assessment 視覺影響評估                                                                                               | <input type="checkbox"/> | <input type="checkbox"/>            |
| Landscape impact assessment 景觀影響評估                                                                                            | <input type="checkbox"/> | <input type="checkbox"/>            |
| Tree Survey 樹木調查                                                                                                              | <input type="checkbox"/> | <input type="checkbox"/>            |
| Geotechnical impact assessment 土力影響評估                                                                                         | <input type="checkbox"/> | <input type="checkbox"/>            |
| Drainage impact assessment 排水影響評估                                                                                             | <input type="checkbox"/> | <input type="checkbox"/>            |
| Sewerage impact assessment 排污影響評估                                                                                             | <input type="checkbox"/> | <input type="checkbox"/>            |
| Risk Assessment 風險評估                                                                                                          | <input type="checkbox"/> | <input type="checkbox"/>            |
| Others (please specify) 其他（請註明）                                                                                               | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <u>Drainage Proposal</u>                                                                                                      |                          |                                     |
| Note: May insert more than one 「✓」. 註：可在多於一個方格內加上「✓」號                                                                         |                          |                                     |

Note: The information in the Gist of Application above is provided by the applicant for easy reference of the general public. Under no circumstances will the Town Planning Board accept any liabilities for the use of the information nor any inaccuracies or discrepancies of the information provided. In case of doubt, reference should always be made to the submission of the applicant.

註：上述申請摘要的資料是由申請人提供以方便市民大眾參考。對於所載資料在使用上的問題及文義上的歧異，城市規劃委員會概不負責。若有任何疑問，應查閱申請人提交的文件。



## **Section 16 Planning Application**

**Proposed Temporary Drone Training Centre with Ancillary Facilities for a Period of 3 Years at Lots 1368(Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378(Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398(Part), 1399(Part), 1400(Part), 1401, 1402(Part), 1403 and 1404 in D.D. 41 and Adjoining Government Land, Tong To Ping Tsuen, Sha Tau Kok, N.T.**

## **Planning Statement**

Applicant

**Magic 7 Smart Technology Ltd.**

Prepared by

**Lawson David and Sung Surveyors Limited**

July 2026

## **Executive Summary**

This planning statement is prepared in support of a planning application for proposed temporary drone training centre with ancillary facilities (the “proposed development”) for a period of 3 years at Lots 1368(Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378(Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398(Part), 1399(Part), 1400(Part), 1401, 1402(Part), 1403 and 1404 in D.D. 41 and adjoining government land, Tong To Ping Tsuen, Sha Tau Kok, N.T. (the “Application Site”).

The Application Site, covering an area of about 5,121 sq.m. (including about 546 sq.m. of Government land), falls within “Village Type Development” (“V”) zone (about 4,530 sq.m, 88%) and “Recreation” (“REC”) zone (about 591 sq.m, 12%) on the on the Approved Sha Tau Kok Zoning Plan (OZP) No. S/NE-STK/2 gazetted on 13.6.2014. According to the Notes of the OZP, the proposed development is not under either “Column 1” or “Column 2” use of “V” and “REC” zone. Meanwhile, temporary use or development of any land or building not exceeding a period of three years requires permission from the Town Planning Board (the “Board”).

The Application Site is currently a piece of flat and vacant land. The proposed development comprises six temporary structures: five 1-storey SUA training rooms, each measuring about 15 sq. m and standing at approximately 3 m in height, and a 2-storey structure repaired from an existing structure for use as a reception area/site office/rain shelter (BH:5m). A 15m × 45m area in the middle of the Application Site is proposed for designation as a Flying Zone for the take-off and landing of drones. The remaining open area will be used as a clear area and for vehicular manoeuvring. In addition, there will be one parking space for a 24-seater minibus (3.5m x 7m) and four spaces for private cars (2.5m x 5m) for staff and visitors. The Application Site will be fenced off with 2.5-metre-high corrugated metal sheets. Operations will be conducted on a booking basis and according to scheduled courses, generally from Wednesdays to Sundays (including public holidays) between 9:00 a.m. and 6:00 p.m.

The justifications of this application are:

1. The proposed development supports government policy on low-altitude economy development in Hong Kong;
2. The proposed development is similar in nature with uses under “Place of Recreation, Sports or Culture”;
3. The proposed development will not hinder the availability of land for small house development;
4. The proposed development is in line with the planning intention of “REC” zone;
5. The Application Site is a suitable venue for drone training; and
6. There will be no adverse drainage, traffic and environmental impacts on the surrounding areas.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.

## 行政摘要

此規劃報告書旨在支持在沙頭角塘肚坪村丈量約份第 41 約地段第 1368 號(部分), 第 1369 號, 第 1371 號, 第 1372 號, 第 1373 號, 第 1376 號, 第 1377 號, 第 1378 號(部分), 第 1379 號, 第 1381 號, 第 1382 號, 第 1383 號, 第 1384 號, 第 1385 號, 第 1392 號, 第 1393 號, 第 1394 號, 第 1395 號, 第 1396 號, 第 1397 號, 第 1398 號(部分), 第 1399 號(部分), 第 1400 號(部分), 第 1401 號, 第 1402 號(部分), 第 1403 號和第 1404 號及毗連政府土地 (“申請地點”), 作為期三年的擬議臨時無人機訓練中心連附屬設施(“擬議發展”)用途的規劃申請。

申請地點的面積約 5,121 平方米 (包括約 546 平方米的政府土地), 座落在 2014 年 6 月 13 日刊憲的沙頭角分區計劃大綱核准圖 (圖則編號: S/NE-STK/2) 上的「鄉村式發展」地帶 (約 4,530 平方米, 88%) 和「康樂」地帶 (約 591 平方米, 12%)。根據該大綱圖的註釋, 擬議發展不屬於「鄉村式發展」地帶或「康樂」地帶的第一及第二欄用途。然而, 不超過三年土地或建築物的臨時用途或發展, 需先向城市規劃委員會(“城規會”)提出申請。

申請地點目前是一塊平坦的空地。擬議發展包括六座臨時構築物: 五間單層的無人機訓練室, 每間面積約 15 平方米, 高度約 3 米; 以及一座由現有空置構築物改建而成的 2 層建築用作接待處/辦公室/避雨棚(高度: 約 5 米)。場地中央一處 15 米 x 45 米的區域將劃定為飛行區, 供無人機起降使用。其餘的空地將用作安全緩衝區及車輛調度區。擬議發展亦將為員工及訪客提供一個 24 座小巴泊位 (3.5 米 x 7 米) 及四個私家車泊位 (2.5 米 x 5 米)。申請用地將以高約 2.5 米的金屬板圍封。營運將採預約制, 並依照既定課程進行, 一般於週三至週日 (包括公眾假期) 上午 9 時至下午 6 時之間。

本規劃申請的理據為:

1. 擬議發展支持政府推動本港低空經濟發展的政策;
2. 擬議發展跟「康體文娛場所」用途的定義相近;
3. 擬議發展不會阻礙小型屋宇發展的土地供應;
4. 擬議發展符合「康樂」地帶的規劃意向;
5. 申請地點適合用作無人機訓練場地; 及
6. 擬議發展不會對附近的排水、交通及環境構成不良的影響。

基於本規劃報告書所述的理據, 敬希 各城規會委員及有關政府部門能批准此項申請, 作為期三年的臨時用途。

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## 1. Introduction

### 1.1 Purpose

Pursuant to Section 16 of the Town Planning Ordinance, this Planning Statement Report is submitted to the Town Planning Board (the “Board”) in support of a planning application for proposed temporary drone training centre with ancillary facilities (the “proposed development”) for a period of 3 years at Lots 1368(Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378(Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398(Part), 1399(Part), 1400(Part), 1401, 1402(Part), 1403 and 1404 in D.D. 41 and Adjoining Government Land, Tong To Ping Tsuen, Sha Tau Kok, N.T. (hereafter referred to as the “Application Site”). **Figure 1** shows the location of the Application Site and the Lot Index Plan indicating the concerned lots is shown per **Figure 2**.

The Application Site, covering an area of about 5,121 sq.m. (including about 546 sq.m. of Government land), falls within an area mainly zoned “Village Type Development” (“V”) (about 4,530 sq.m, 88%) with a small portion zoned “Recreation” (“REC”) (about 591 sq.m, 12%) on the Approved Sha Tau Kok Outline Zoning Plan (OZP) No. S/NE-STK/2 gazetted on 13.6.2014. According to the Notes of the OZP, the proposed development is not under either “Column 1” or “Column 2” use of “V” and “REC” zones. Meanwhile, temporary use or development of any land or building not exceeding a period of three years requires permission from the Board.

### 1.2 Background of the Application

Small Unmanned Aircraft (SUA), commonly known as drones, are power-driven aircraft weighing 25kg or below, operated without any pilot onboard. With the growing popularity of SUA usage over the past few years, both locally and worldwide, drones are being employed for various purposes ranging from recreation and education to professional deployment for powerline inspection, surveying, filming, drone shows, etc. Under the SUA Order that took full effect on 1.12.2022, SUA operations are regulated under a risk-based approach. Based on the weight of the SUA and the operational risk level, SUA operations are subject to the corresponding regulatory requirements, including registration and labelling of SUA, registration of remote pilots, training and assessment, equipment and operating requirements, etc.

Under the SUA Order, for SUA pilots who wish to conduct advance operations prone to higher risks, they are required to obtain the “Advanced Rating” qualification from the Civil Aviation Department (CAD) by completing pilot training course provided by SUA Approved Training Organization (ATO).

The Applicant is target to cooperate with a SUA ATO to provide superior training standards on a global scale by offering professional drone licence courses that will take people from classroom to operations. The courses organized by the ATO consist of two parts: Part 1 is classroom lectures, which will be conducted in the SUA training rooms. Part 2 is the operation course, which is proposed to be conducted at the flying zone for SUA. To meet the operational needs for training and educational purposes as a SUA ATO in Hong Kong, the Applicant seeks the Board’s approval to develop the Application Site as a drone training centre.

### 1.3 Organization of the Planning Statement

This planning statement is divided into 6 chapters. Chapter 1 is an introduction outlining the above background of the planning application. Chapter 2 will then illustrate the site context and land status followed by Chapter 3 which describes the planning context in details. Chapter 4 gives the particulars of the proposed development. Detailed accounts of planning justifications of the proposed development are presented in Chapter 5. The planning statement finally concludes with a summary in Chapter 6.

## 2. Site Context

### 2.1 The Application Site and Its Existing Condition

The Application Site, with an area of about 5,121 sq.m. (including Government land of about 546 sq.m.), is located in Tong To Ping Tsuen, and can be accessed via a road leading from Sha Tau Kok Road – Shek Chung Au in its southeast. The Application Site is a piece of flat land generally sloping from the west to the east and is currently vacant and covered with grass. The existing vacant structure in the south of the Application Site will be renovated and used by the Applicant (see **Site Photos**).

### 2.2 Surrounding Land Uses

The surrounding area is characterised by a rural landscape consisting mainly of village houses, abandoned land, and clusters of trees. Clusters of trees are located to the north and west. Further north, across the tree clusters, lies the cluster of Tong To village houses. To the south-west is a S.12A planning application for the rezoning of the site from “V” to “Government, Institution or Community(1)” (“GIC(1)”) for a columbarium. This was partially approved by the Board on 21.12.2025. Apart from a few village houses to the southwest, there are no residential dwellings in the immediate vicinity of the Application Site.

### 2.3 Accessibility

The Application Site is accessible to Sha Tau Kok Road – Shek Chung Au via an access road to its southeast. The entrance to the Application Site is located to the south with a width of 8m. A plan showing the vehicular access to the Application Site is provided at **Figure 3**.

### 2.4 Land Status

According to the records of the Land Registry, the subject lots are held under Block Government Lease and are demised as agricultural use with lease term for 75 years, from 1.7.1898 less three days and are renewable for a further term of 24 years.

The Applicant will apply for a Short Term Waiver (STW) for the proposed structures and a Short Term Tenancy (STT) for the use of the government land to the Lands Department upon obtaining planning approval for this application.

### 3. Planning Context

#### 3.1 Outline Zoning Plan

The Application Site falls within an area zoned “V” and “REC” on the Approved Sha Tau Kok Outline Zoning Plan (OZP) No. S/NE-STK/2 gazetted on 13.6.2014 (see **Figure 1**).

The planning intention of “V” zone is primarily for development of Small Houses by indigenous villagers. It is also intended to concentrate village type development within this zone for a more orderly development pattern, efficient use of land and provision of infrastructures and services. While the planning intention of “REC” zone is primarily for recreational developments for the use of the general public. It encourages the development of active and/or passive recreation and tourism/eco-tourism. Uses in support of the recreational developments may be permitted subject to planning permission.

According to the OZP, the proposed development (i.e. “Drone Training Centre”) does not fall under either ‘Column 1’ or ‘Column 2’ uses of the “V” zone or “REC” zone. Temporary use or development of any land or building not exceeding a period of three years requires permission from the Board.

#### 3.2 Previous Application

The Application Site is not involved in any previous planning application.

#### 3.3 Similar Application

There is no similar application within the same “V” zone or “REC” zone under the Approved Sha Tau Kok OZP.

### 4. Development Proposal

#### 4.1 Site Configuration and Layout

The Applicant seeks planning permission to use the Application Site for proposed temporary drone training centre with ancillary facilities for a period of 3 years. The proposed development intends to serve the students and customers of the Applicant for training and education purposes.

The Application Site covers an area of approximately 5,121 sq.m. The proposed development comprises six temporary structures: five 1-storey SUA training rooms (GFA: about 15 sq.m; BH: about 3m each), and a 2-storey structure (GFA: about 173 sq.m., BH: about 5m) renovated from an existing structure for use as a reception/site office/rain shelter. A 15m × 45m area in the middle of the Application Site is proposed for designation as a Flying Zone for the take-off and landing of drones. The remaining open area will be used as a clear area and for vehicular manoeuvring. Drone usage will be restricted to a maximum altitude of 30m above ground level within the clear zone. Access to the clear zone by participants is not allowed during drone flying sessions (see Layout Plan at **Figure 4**).

In addition, there will be one parking space for a 24-seat minibus (3.5m x 7m) and four spaces for private cars (2.5m x 5m) for staff and visitors. The Application Site will be fenced off with 2.5-metre-high corrugated metal sheets, and the surface of the Application Site will not be hard-paved. The key development parameters of the application are shown below:

|                                    |                                                                                     |
|------------------------------------|-------------------------------------------------------------------------------------|
| Applied Use                        | Temporary drone training centre with ancillary facilities for a period of 3 years   |
| Site Area                          | About 5,121 sq.m. (including about 546 sq.m. of Government Land)                    |
| Total Floor Area<br>(Non-domestic) | About 248 sq.m.                                                                     |
| No. of Structures                  | 6<br>- 5 SUA training rooms<br>- 1 structure for reception/site office/rain shelter |
| Height of Structures               | 3m - 5m (1 to 2 storeys)                                                            |
| No. of Parking<br>Spaces           | 1 (for 24-seat minibus) (3.5m x 7m)<br>4 (for private cars) (2.5m x 5m)             |
| Operation Hours                    | 9:00am to 6:00 pm<br>Wednesdays to Sundays (including public holidays)              |

#### 4.2 Site Operations

The proposed hours of operation at the Application Site are based on appointments and scheduled classes, normally 9am to 6pm daily from Wednesdays to Sundays (including public holidays). The Applicant will provide recognised courses for a wide range of customers and users, organised and taught by certified instructors. Classes are scheduled four to five days per week for morning (9:00 am – 12:30 pm) and afternoon (2:00 pm – 5:30 pm) sessions. The maximum number of participants for a full-day course is 22.

The operation of the proposed development will adhere to the regulatory and operating requirements set out in the Safety Requirement Document prepared by the CAD, as well as the regulations stipulated in the SUA Order (Cap. 448G). Drone usage will be restricted to a maximum altitude of 30 metres above ground level and within the Application Site area. Drone operations will also only be conducted during daylight hours.

#### 4.3 Traffic Arrangement

The Application Site is accessible via an access road leading to Sha Tau Kok Road – Shek Chung Au (see **Figure 3**). The Applicant will continue to use the existing entrance/exit point of the Application Site, which is about 8 metres wide and located at the southern boundary. Adequate space for vehicle manoeuvring has been reserved at the southern part of the Application Site. The Applicant will maintain an existing pedestrian access point for direct access to the reception/site office.

In addition, the Applicant will provide one parking space for a 24-seater minibus (3.5m x 7m) and four parking spaces for private cars (2.5m x 5m) for staff and visitors. Visitor parking will be provided on an appointment-only basis. As the Application Site is conveniently served by the nearby Tong To bus stop, which is located about a 7–10 minute walk away, most students and customers will travel to the Application Site via public transport (i.e. bus) or the minibus provided by the Applicant. The proposed drone training centre will generate no more than two round trips for the minibus and eight for private cars per day, which the existing road can accommodate.

The estimated traffic arising from the proposed development is as follows:

| Time                    | No. of Trips (Private Cars) |     | No. of Trips (Minibus) |     |
|-------------------------|-----------------------------|-----|------------------------|-----|
|                         | In                          | Out | In                     | Out |
| 08:00-09:00 (peak hour) | 2                           | 0   | 1                      | 0   |
| 09:00-10:00             | 2                           | 0   | 0                      | 0   |
| 10:00-11:00             | 0                           | 0   | 0                      | 0   |
| 11:00-12:00             | 0                           | 0   | 0                      | 0   |
| 12:00-13:00             | 0                           | 4   | 0                      | 1   |
| 13:00-14:00             | 4                           | 0   | 1                      | 0   |
| 15:00-16:00             | 0                           | 0   | 0                      | 0   |
| 16:00-17:00             | 0                           | 0   | 0                      | 0   |
| 17:00-18:00 (peak hour) | 0                           | 4   | 0                      | 1   |

A swept path analysis (see **Figure 5**) has been prepared to demonstrate the satisfactory manoeuvring of vehicles entering and exiting the Application Site, as well as manoeuvring within it. There will be no issues with internal traffic circulation, as sufficient space for manoeuvring vehicles has been reserved in the southern area. This means that vehicles will never need to wait or queue outside the Application Site.

#### 4.4 Drainage Proposal

Drainage facilities including 750mm U-channel at 1 in 200 gradient with catchpits and trap, are proposed to collect the surface runoff and divert it to the existing stream via the southeast corner of the Application Site. These facilities will ensure that no surface runoff discharges from the Application Site onto the nearby public road. A drainage proposal has been submitted (see **Appendix 1**) to illustrate the design of the drainage system. The Applicant will provide the drainage facilities to the satisfaction of the Drainage Services Department (DSD).

#### 4.5 Fire Service Installations

To minimize the fire hazard, the Applicant will provide fire service installations (FSIs) to the satisfaction of the Fire Services Department upon approval of this application.

#### 4.6 Environmental Consideration

The nature of the proposed use will merely involve the training and education of drones. To minimize any potential environmental disturbance, the Applicant will adhere to the 'Code of Practice on Handling the Environmental Aspects of Temporary Uses and Open Storage Sites' and implement the following mitigation measures:

- All drone operations will comply with the regulations set out in the SUA Order, including the restriction of drone usage to a maximum altitude of 30m and operation only during daylight hours etc.;
- The 2.5m high corrugated metal fencing will be constructed along the site boundary;
- No more than 22 students will be permitted on the Application Site at any one time;
- Mandatory advance booking of visitor car parking spaces is required to minimize additional traffic pressure on the existing roads; and
- Waste will be properly stored, packed, collected and disposed of by on-site staff.

## 5. Planning Justifications

### 5.1 Support Government Policy on Low-altitude Economy (LAE) Development

LAE, which refers to economic activities in airspace below 1,000 metres, was highlighted in the Chief Executive's 2024 Policy Address as one of the Hong Kong's crucial new quality productive forces. The Government is currently formulating LAE development strategies and considering relaxing weight and loading restrictions on drones to expand their applications in various scenarios. The first LAE Sandbox pilot project was recently announced on 20.3.2025. An increase in the future demand for qualified SUA pilots and relevant training programmes is anticipated. To partner with a SUA ATO in Hong Kong, the Applicant will provide certified courses to train qualified SUA pilots and the Application Site is essential for the Applicant to conduct practical training sessions for all trainees.

As the proposed development is intended for the training and education of drone pilots, approval of the application would complement the Government's policy of promoting the wider application of drones in Hong Kong.

### 5.2 Similar in Nature with Uses under "Place of Recreation, Sports or Culture"

Although the proposed development (i.e. a drone training centre with ancillary facilities) is not included in the Board's definitions of terms for interpreting the proposed planning uses in statutory plans, it should be noted that the nature of a drone training centre is compatible with the definition of 'Place of Recreation, Sports or Culture'. For example, a radio-controlled model aircraft flying field, which is similar to the proposed development in that it provides education and practice in aircraft modelling, is included under "Place of Recreation, Sports or Culture". It is also a "Column 1" use in the "REC" zone and a "Column 2" use in the "V" zone under the approved Sha Tau Kok OZP No. S/NE-STK/2. Consequently, it is logical to conclude that the proposed development is similar in nature to the uses under "Place of Recreation, Sports or Culture", and thus this planning application should be favorably considered for approval by the Board.

### 5.3 No Adverse Impact on Small House Land Supply

Although the Application Site is mainly zoned "V" (about 4,530 sq.m) on the OZP, only around 670 sq.m. is located within the Village Environ ('VE') of Tong To. As advised by the Applicant, there are no small house applications within the Application Site. Given the substantial amount of available land for small house development within the 'VE' and the temporary nature of the proposed development, the application will not hinder the availability of land for small house development. It will also not jeopardize the long-term planning intention of the locality, which primarily intend to facilitate the development of small houses by indigenous villagers.

### 5.4 In Line with the Planning Intention of "REC" Zone

The Application Site is also located within the "REC" zone of the approved Sha Tau Kok OZP No. S/NE-STK/2. The proposed development is considered compatible with the definition of a 'Place of Recreation, Sports or Culture', which is a 'Column 1' use in the "REC" zone under the OZP. Therefore, the proposed development is in line with the planning intention of "REC" zone, which primarily intend for recreational developments for the use of the general public, and supports the long-term recreational development of the Application Site within the "REC" zone, given the recreational and educational nature of the proposed development.

## 5.5 A Suitable Venue for Drone Training

There are limited options available to the Applicant for identifying a suitable venue for drone training purposes. Taking into account the characteristics of the Application Site, it meets the basic requirements for drone training and is an ideal choice for training in a rural area.

- (a) It falls outside the restricted flying zone;
- (b) It is away from airports, aircraft approach paths, take-off paths and helicopter landing pads;
- (c) Clear of persons, vessels, vehicles or structures;
- (d) Flat enough to enable safe take-off and landing; and
- (e) Free from visual obstruction.

## 5.6 No Adverse Impacts on the Surrounding Areas

Owing to the nature of the proposed development, no adverse impacts are anticipated on the surrounding areas, as discussed below:

### Drainage

Drainage facilities will be provided within the Application Site to effectively collect and discharge surface runoff. The Applicant has submitted a drainage proposal (see **Appendix 1**) and will implement it to the satisfaction of DSD. Therefore, the Application Site will not have an adverse impact on drainage.

### Traffic

The Application Site is accessible via an access road leading from Sha Tau Kok Road – Shek Chung Au. Most visitors will travel to the Application Site by public transport, arriving at the Tong To bus station. No increase in traffic volume on the existing track or adverse traffic impact is anticipated. It is anticipated that there will be around two round trips per day for minibuses to and from the Application Site, which can easily be accommodated by the access road. All visitor car parking spaces require a prior appointment, and there is sufficient parking and manoeuvring space within the Application Site. Therefore, no vehicles will be waiting, queuing or reversing onto or from the public road at any time, and no adverse impact is anticipated.

### Environment

The Application Site will be used solely as a drone training centre with ancillary facilities. To minimise potential environmental impact on the surrounding area, the Applicant will restrict the maximum flying altitude of drones within the Application Site to 30 metres above ground level, thereby avoiding disturbance to the off-site environment. In addition, operating hours will be restricted to between 9:00 a.m. and 6:00 p.m, from Wednesdays to Sundays. Therefore, it is unlikely that the proposed development will have a significant adverse environmental impact on the surrounding area.

## 6. Conclusion

The Application Site, which covers an area of about 5,121 sq.m., falls within the “V” zone (about 4,530 sq.m, 88%) and the “REC” zone (about 591 sq.m, 12%) on the approved Sha Tau Kok OZP No. S/NE-STK/2. Given the location of the site and the surrounding land use, as well as the temporary nature of the proposed development, the Application Site is considered suitable for a temporary drone training centre with ancillary facilities and will not hinder the supply of land for small house developments.

While the proposed development does not fall under the uses listed in either ‘Column 1’ or ‘Column 2’ of the “V” and “REC” zones, it resembles the uses listed under ‘Place of Recreation, Sports or Culture’, which are “Column 1” use in the “REC” zone and “Column 2” use in the “V” zone under the OZP. As such, the proposed development is in line with the planning intention of “REC” zone and is not incompatible with the “V” zone.

Taking the site characteristics into consideration, the Application Site is a suitable venue for drone training. Approval of this application would complement government policy on promoting low-altitude economic development by facilitating the training of more qualified SUA pilots in Hong Kong.

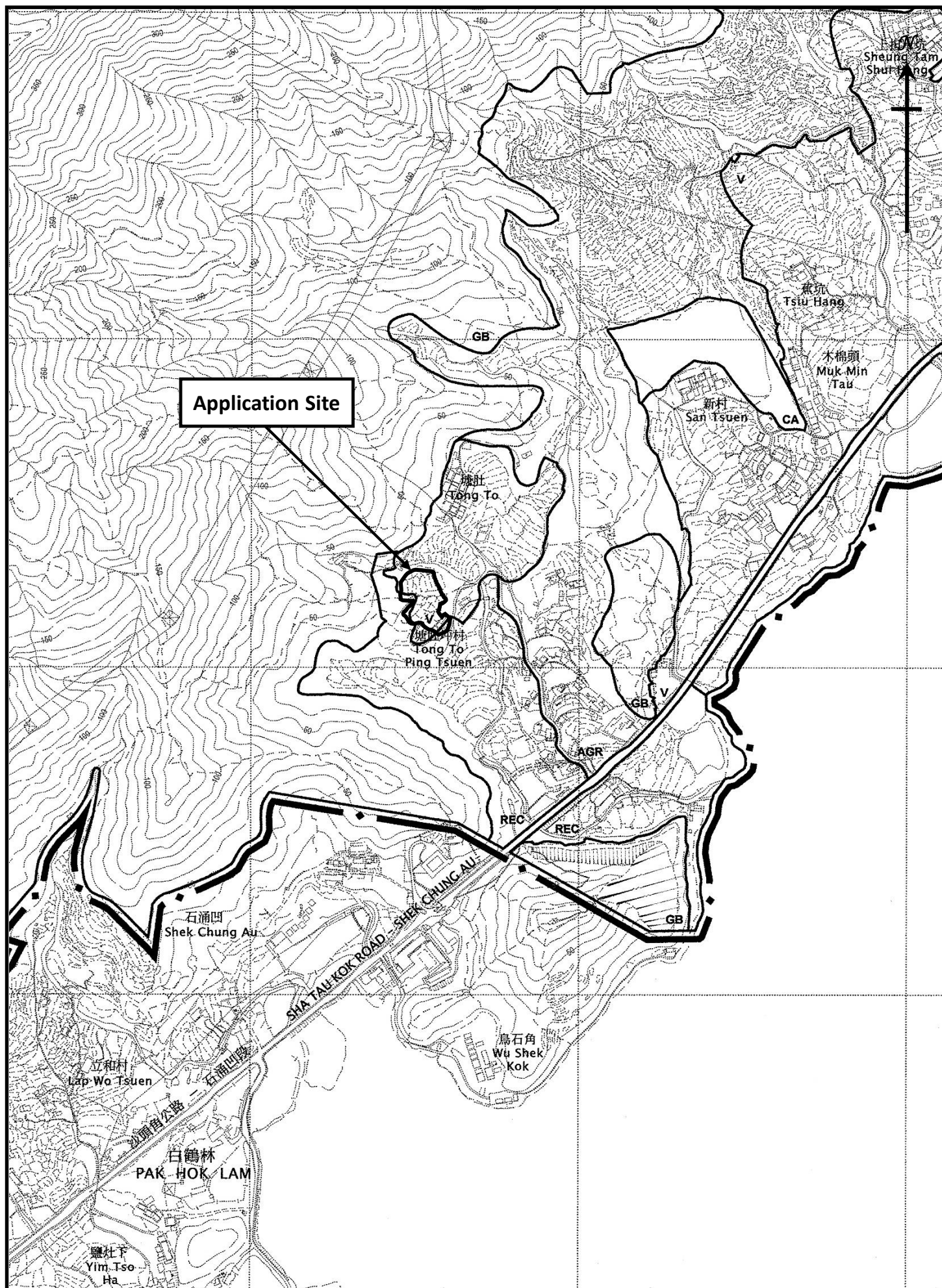
As the proposed development would not have an adverse impact on the surrounding area, and the technical concerns of the relevant government departments can be addressed through approval conditions, the proposed development will not set an undesirable precedent.

In view of the justifications as presented in this planning statement, it is hoped that members of the Board and relevant Government departments will approve this application for a period of 3 years.

## Figures

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- Figure 1 Location Plan
- Figure 2 Lot Index Plan
- Figure 3 Vehicular Access to the Site
- Figure 4 Indicative Layout Plan
- Figure 5 Swept Path Analysis



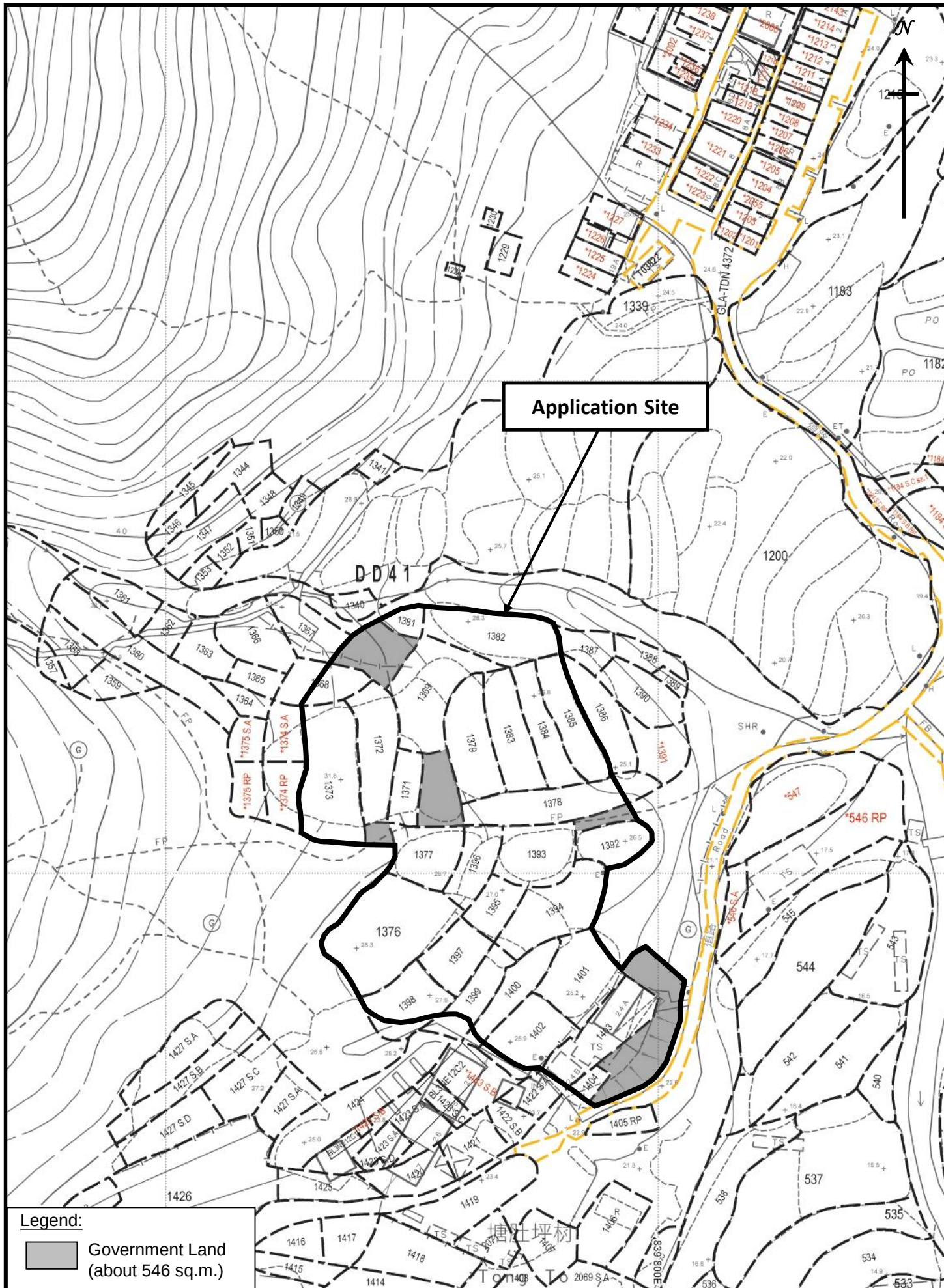
Location Plan  
(Extract from Approved Sha Tau Kok Outline Zoning  
Plan No. S/NE-STK/2)

Figure 1

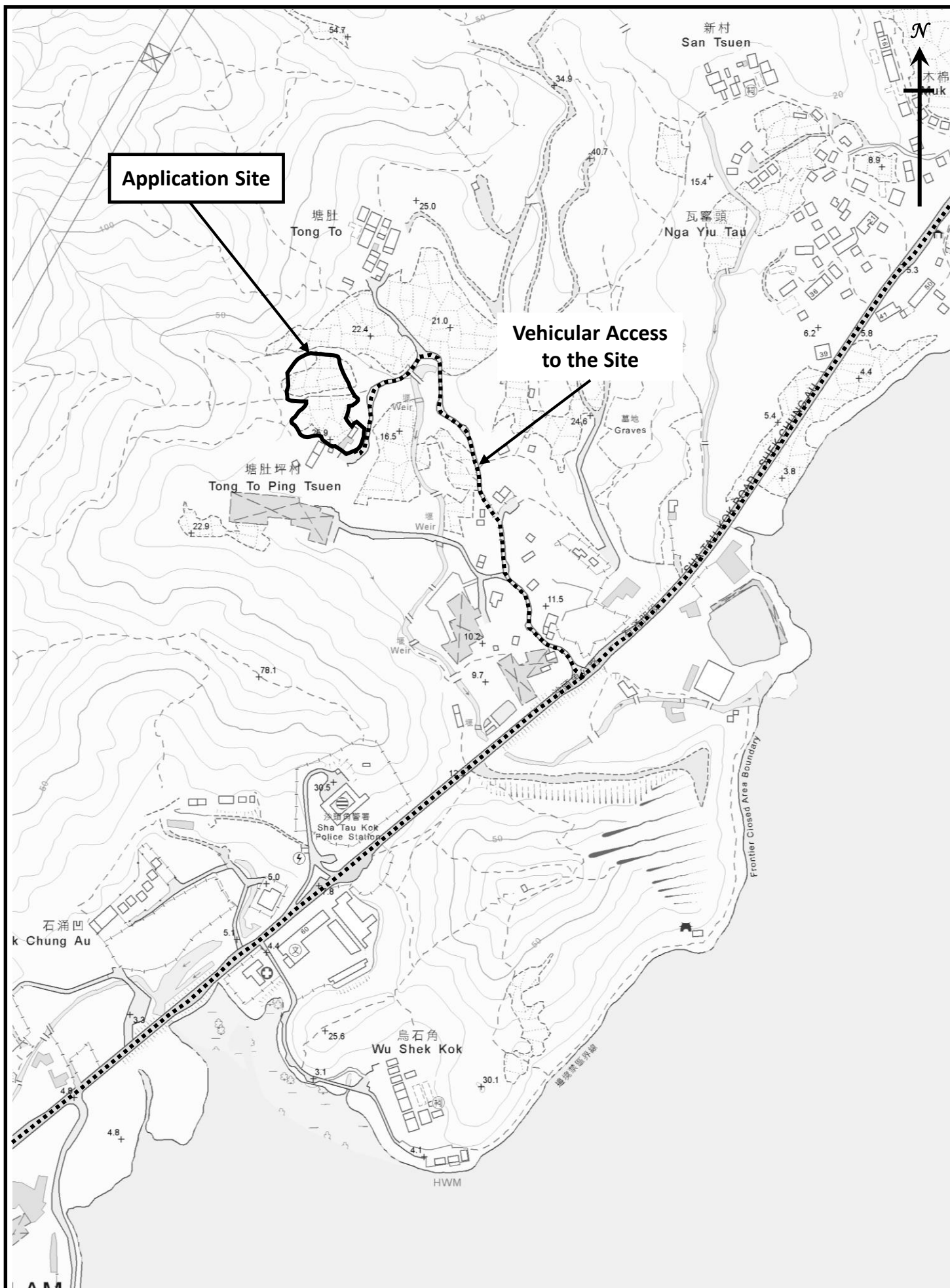
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Vehicular Access to the Application Site

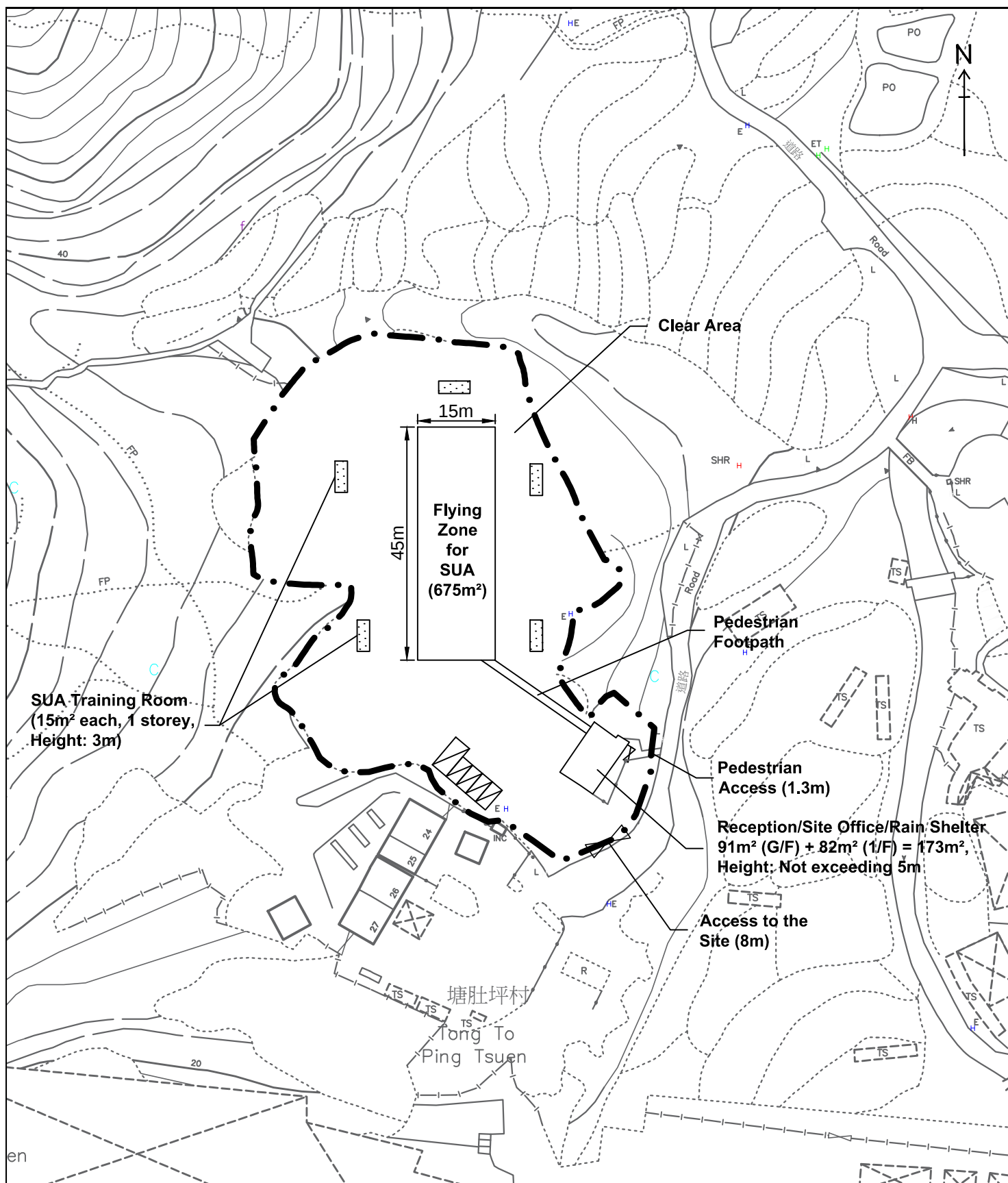
Figure 3

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#### Legend:

- Application Site (about 5,121 sq.m.)
- SUA Training Room (About 15 sq.m. each; Height: about 3m (1-storey))
- Parking Spaces for Minibus (3.5m x 7m) (1 no.)
- Parking Spaces for Private Car (2.5m x 5m) (4 nos.)

For Identification Purpose

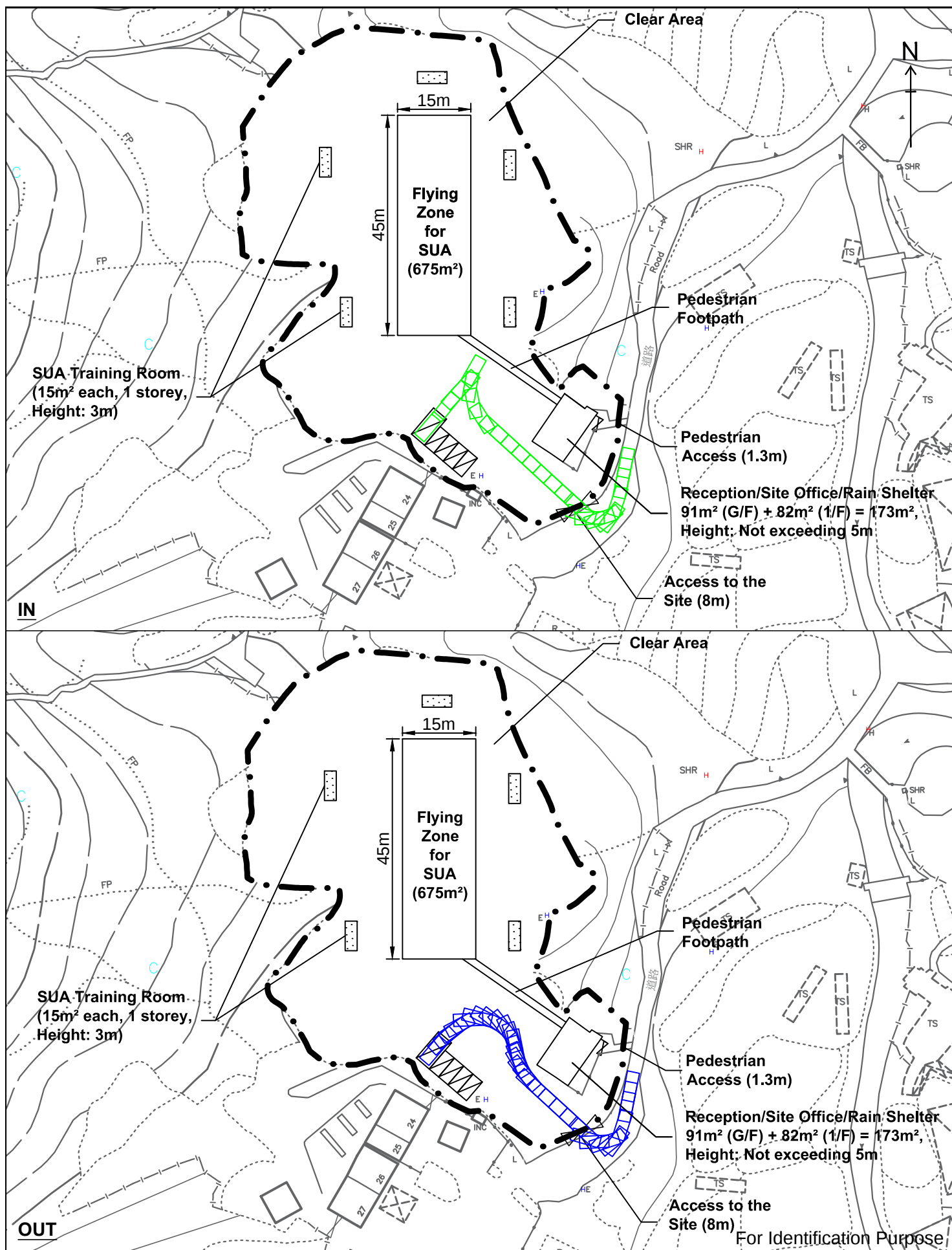
Indicative Layout Plan

Figure 4

Scale 1:1000



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Swept Path Analysis - Minibus

Figure 5

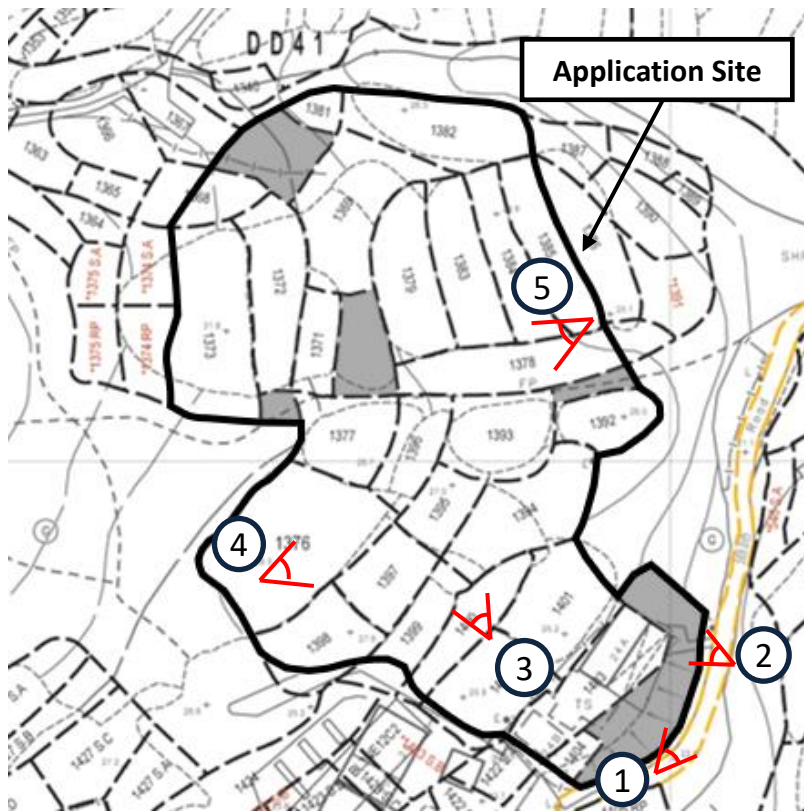
Scale 1:1000



羅迅測計師行  
Lawson David & Sung  
SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328

## Site Photos

---



Legend:

△ Viewpoint of the Photo

① Photo No.

Existing Condition of the Application Site and Its Surroundings

Site Photos



羅迅測計師行  
Lawson David & Sung  
SURVEYORS LIMITED  
Property Consultants • Planning • Valuers • Auctioneers  
Estate Agency Licence No. C-006328

# Appendix 1

---

## Drainage Proposal

Drainage Submission in support of  
S16 Planning Application  
for Temporary Drone Training Centre with Ancillary Facilities for a  
Period of 3 Years  
at Various Lots and Adjoining Government Land in DD41,  
Tong To Ping Tsuen, Sha Tau Kok, N.T.

(HT26050)

June 2026

**Drainage Consultant:**

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

|                         |                                                                                                                                                                                                                |
|-------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Prepared & Approved by: | LEE Kwok Cheung<br><i>MICE, MHKIE(Civil), RPE(CVL, ENV, GEL)</i><br><i>(Registration No. RP0159301)</i><br><br>Signature:  |
|-------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## **1. Background**

With respect to a S16 Planning Application for a Temporary Drone Training Centre with Ancillary Facilities for a Period of 3 Years at Various Lots and Adjoining Government Land in DD41, Tong To Ping Tsuen, Sha Tau Kok, N.T., Ho Tin & Associates Consulting Engineers Limited was appointed to prepare a drainage submission.

## **2. Approach to Prepare this Proposal**

- 2.1 This Drainage Submission is prepared in line with the “Technical Note to prepare a Drainage Submission (Relating to applications for temporary change of land use such as temporary storage areas, car parks, workshops, small factories ... etc. under S.16 of the Town Planning Ordinance)” issued by Drainage Services Department in December 2024.

## **3. The Subject Site and Proposed Development**

- 3.1 The subject site with a total site area of about 5,121m<sup>2</sup> comprises of Lots 1368 (Part), 1369, 1371, 1372, 1373, 1376, 1377, 1378 (Part), 1379, 1381, 1382, 1383, 1384, 1385, 1392, 1393, 1394, 1395, 1396, 1397, 1398 (Part), 1399 (Part), 1400 (Part), 1401, 1402 (Part), 1403 and 1404 in D.D. 41 and adjoining government land, Tong To Ping Tsuen, Sha Tau Kok, N.T. It is located at the north side of Tong To Ping Tsuen and at about 346m to the northwest of Sha Tau Kok Road – Shek Chung Au. A Site Location Plan is shown in **Figure D1**.
- 3.2 The subject proposed development consists of 5 numbers of SUA Training Rooms, a Reception/Site Office/Rain Shelter, a Rain Shelter, and Pedestrian Footpath connecting the reception and the flying zone, one parking space for minibus and 4 parking spaces for private car. A Layout Plan is shown in **Figure D2**.

## **4. Existing Drainage Conditions of the Subject Site**

- 4.1 At present, the subject site is a piece of flat grassland generally sloping from the west at about +31.8mPD to the east at about +25.1mPD. It is on a relative higher elevation in comparison with the surrounding areas at its eastern and southern sides. The lowest

point of the subject site would be at its southeast corner at which its entrance abuts on an existing access road at the level of about +22.6mPD. The grass area of the subject site will be maintained in general except at which proposed structures/features as mentioned in the above paragraph 3.2 have to be constructed and then the areas will be hard paved.

4.2 There is a streamcourse running close to the northern subject site boundary and connecting to the main stream of the area at about 40m to the east from the subject site boundary. Hence, surface runoff from the north of the subject site will be intercepted by the afore-mentioned streamcourse without entering onto the subject site. The subject site is located at the ridge of a hill spur sloping downward from the west to the east. Surface runoff on the ridge will therefore predominantly flows northward or southward instead of eastward onto the subject site.

4.3 At present, there is no prominent engineering channels within the subject site and its immediate surroundings. Surface runoff of the concerned area including the subject site currently will flow in the form of surface runoff towards the nearby streamcourse.

4.4 Current conditions of the subject site and its surrounding areas are shown in the following photos (photo taking locations are shown on **Figure D3**):

|                                                                                     |                                                                                      |
|-------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
|  |  |
| <p>Photo No. 1 – View toward the subject site from the north</p>                    | <p>Photo No. 2 – View toward the northwest corner of the subject site</p>            |

|                                                                                                            |                                                                                                                                |
|------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|
|                           |                                              |
| <p>Photo No. 3 – View along the southern subject site boundary</p>                                         | <p>Photo No. 4 – View toward the east from the subject site</p>                                                                |
|                          |                                             |
| <p>Photo No. 5 – View toward the proposed entrance area of the subject site</p>                            | <p>Photo No. 6 – View along the existing access road outside the eastern subject site boundary</p>                             |
|                         |                                            |
| <p>Photo No. 7 – View of the existing streamcourse running close to the northern subject site boundary</p> | <p>Photo No. 8 – View of existing outfall of the existing streamcourse running close to the northern subject site boundary</p> |

|                                                                                    |                |
|------------------------------------------------------------------------------------|----------------|
|   | <p>[BLANK]</p> |
| <p>Photo No. 9 – View of the main streamcourse to the east of the subject site</p> |                |

## 5. Drainage Assessment and Proposal

5.1 The subject site is a simple small site with a total site area of about 5,121m<sup>2</sup>. No significant site formation works is proposed. There is no change in the flowing directions nor obstruction of the existing flows of the concerned area.

5.2 With respect to the “Technical Note to prepare a Drainage Submission” (the “TN”) published by Drainage Services Department, for the subject site area = 5,121m<sup>2</sup> ≤ 6,000m<sup>2</sup>, peripheral 2x450mm U channel at 1 in 200 gradient would be appropriate. The “TN” suggested that other equivalent sizes of U-channel with more or same flow area could be considered to suit various site conditions. The flow area of 2x450mm U channel is about 0.36m<sup>2</sup>, and the flow area of 750mm U channel is about 0.5m<sup>2</sup> > 0.36m<sup>2</sup>. It is therefore proposed to construct new peripheral 750mm U channel at 1 in 200 gradient for the subject proposed development. A new catchpit with trap will be constructed at the end of the proposed U channels near the southeastern corner of the subject site and from which the collected flow is to be discharged into the existing streamcourse via a proposed 750mm U channel at 1 in 200 gradient.

5.3 Besides, in order to ensure no surface runoff from the surroundings flowing towards the subject site, if occurs, would be obstructed, 100mm high gap will be formed at the bottom of solid security hoarding/fence, when erected, along the subject site boundary. A Proposed Stormwater Drainage Layout Plan is shown in **Figure D4**.

5.4 The Applicant is committed to obtain consents from relevant Government departments and/or owners of adjacent relevant land/lots prior to commencement of

the proposed drainage works outside the subject site and to maintain regularly to avoid blockage of the drainage system to the satisfaction of relevant Government departments.

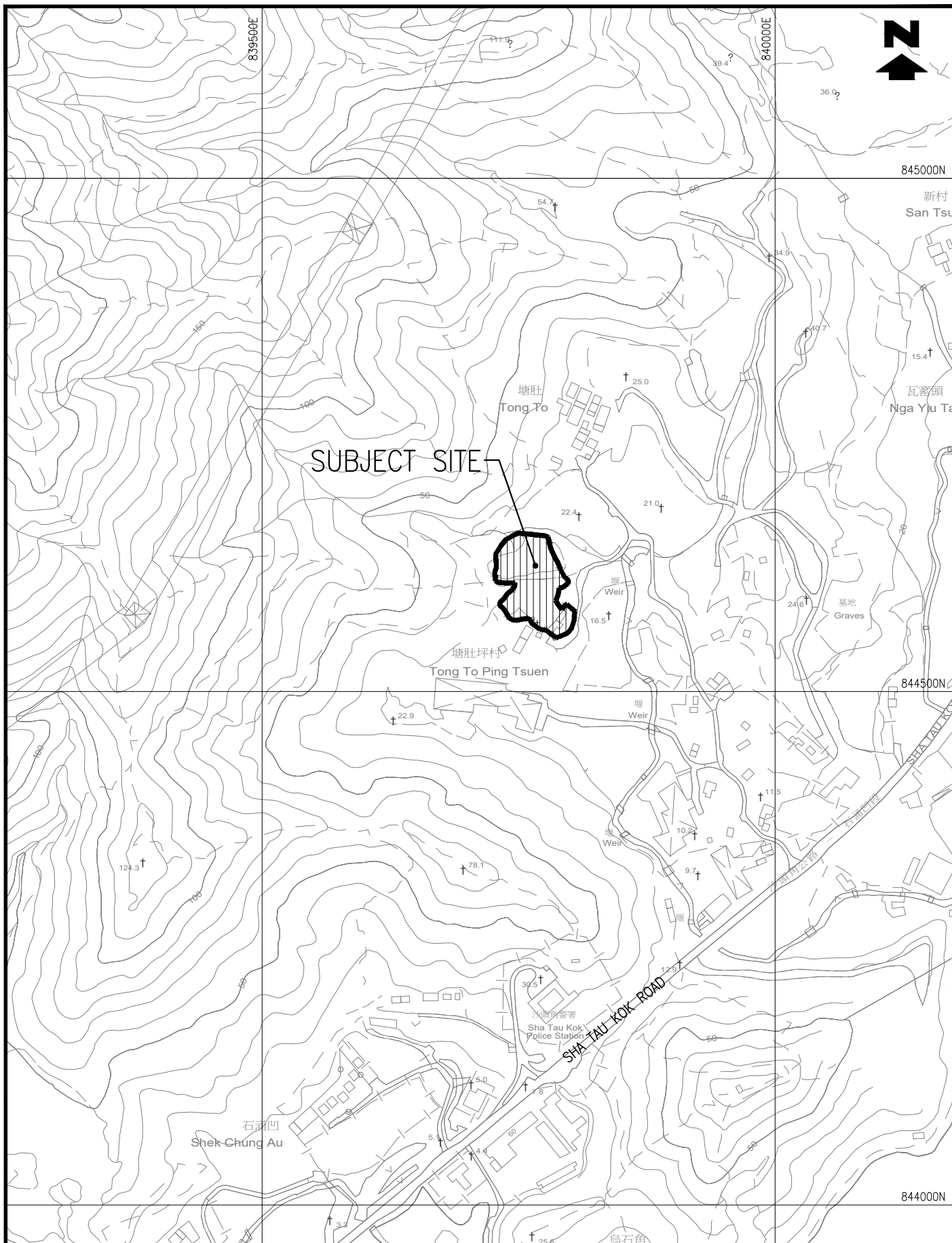
- 5.5 Details of proposed drainage provisions shall follow relevant details shown in Government departments' Standard Drawings as follows:

| <i>Proposed Drainage Provisions</i> | <i>Standard Drawings</i> | <i>Drawing No. &amp; Title</i>                               |
|-------------------------------------|--------------------------|--------------------------------------------------------------|
| Catchpit                            | CEDD Standard Drawings   | C 2405/1 to /5 – Standard Catchpit Details                   |
| Catchpit with trap                  |                          | C 2406/1 to /2A – Catchpit with Trap                         |
| Catchpit precast concrete cover     |                          | C 2407B – Precast Concrete Covers for Catchpit and Sand Trap |
| U-channel                           |                          | C 2409J – Details of Half-round and U-channels               |
| Channel cover                       |                          | C 2412E – Cover Slab and Cast Iron Grating for Channels      |

## **6. Conclusion and Recommendations**

- 6.1 The subject proposed development is for a Temporary Drone Training Centre with Ancillary Facilities for a Period of 3 Years at Various Lots and Adjoining Government Land in DD41, Tong To Ping Tsuen, Sha Tau Kok, N.T. The existing site levels which have been completely hard paved would be maintained in general.
- 6.2 There is no engineering channels serving the subject site at present. 750mm U channel at 1 in 200 gradient will be constructed at the peripheral of the subject site to intercept all surface runoff crossing the subject site boundary. 100mm high gap will be formed at the bottom of solid security hoarding/fence, when erected, along the subject site boundary to ensure no surface runoff from the adjacent, due to any unexpected incidents, to be obstructed. A new catchpit with trap will be constructed at the ends of the 750mm U channel within the subject site before discharging into the nearby streamcourse.

- 6.3 The Applicant is committed to obtain consents from relevant Government departments and/or owners of adjacent relevant land/lots prior to commencement of the proposed drainage works outside the subject site and to maintain regularly to avoid blockage of the system to the satisfaction of relevant Government departments.
- 6.4 The subject development would not alter the existing drainage conditions and pattern of the area and the proposed drainage system would be maintained with appropriate drainage clearance and repair works, i.e. debris clearance and damage repair. Therefore, in conclusion, the subject development would not cause any adverse drainage impact onto the area.



TITLE

SITE LOCATION PLAN

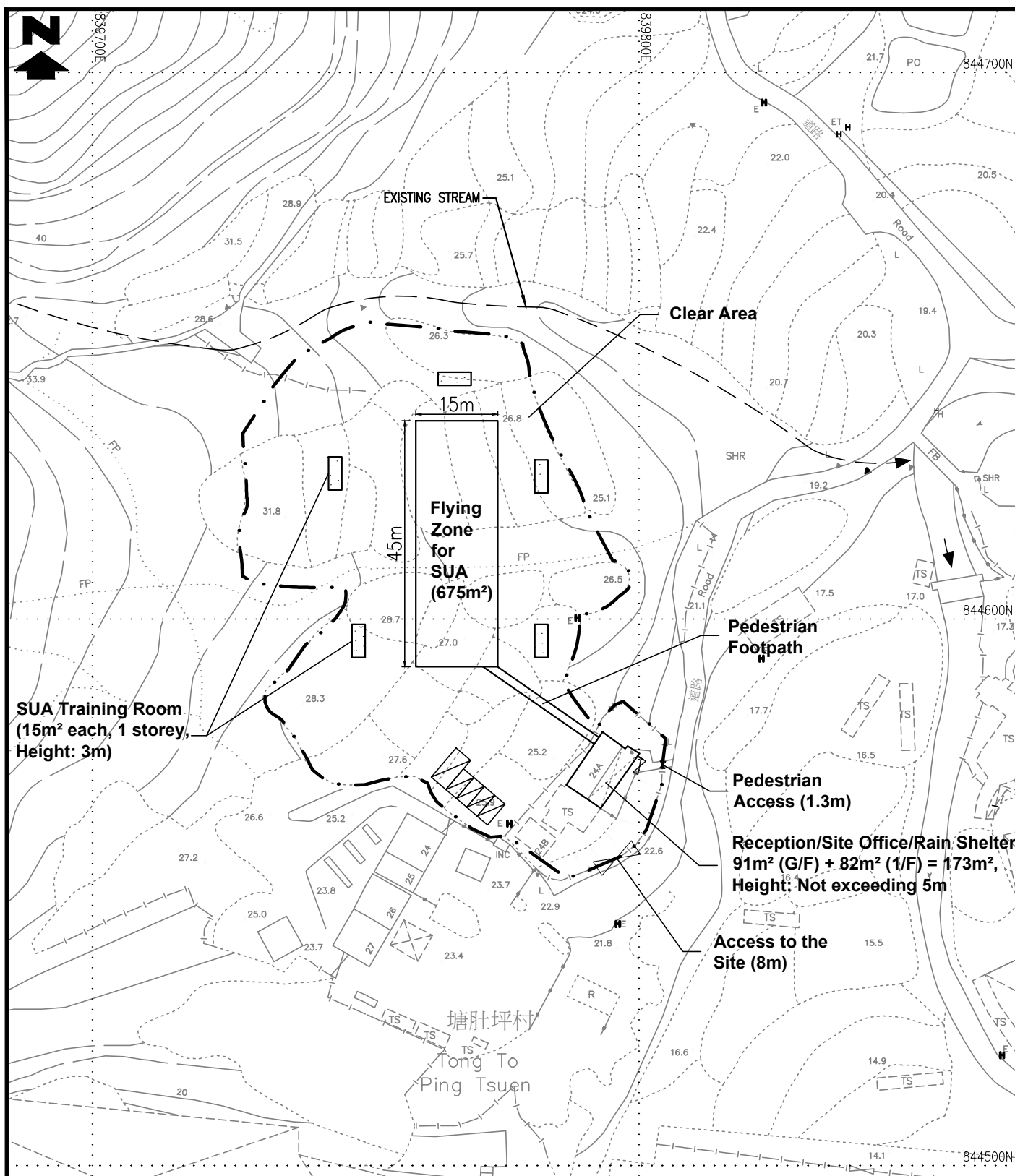
何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

SCALE

1 : 5000 - A4

DRAWING No.

FIGURE D1



**Legend:**

- · — Application Site (about 5,121 sq.m.)
- ▭ SUA Training Room (About 15 sq.m. each; Height: about 3m (1-storey))
- ▨ Parking Spaces for Minibus (3.5m x 7m) (1 no.)
- ▩ Parking Spaces for Private Car (2.5m x 5m) (4 nos.)

TITLE

LAYOUT PLAN

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

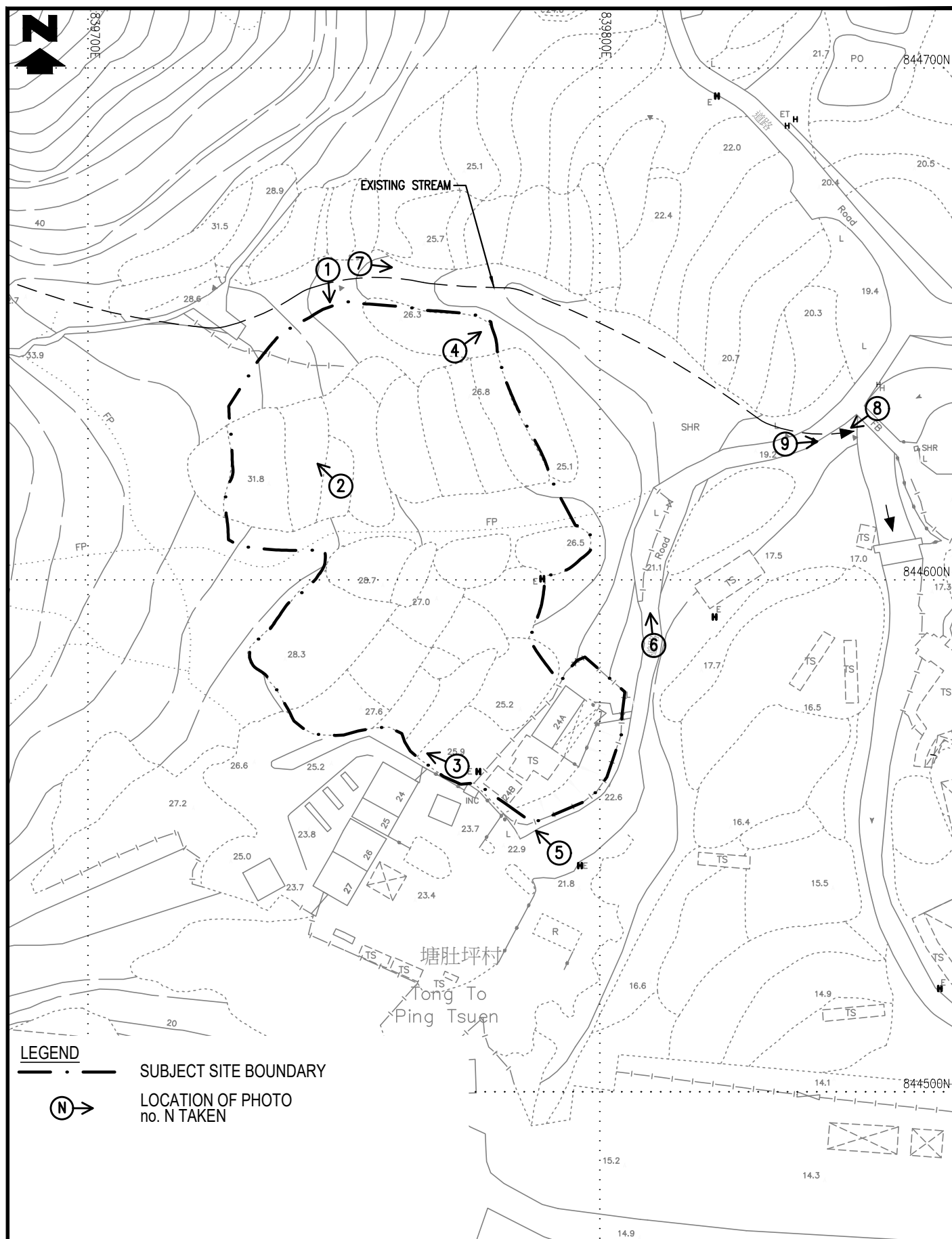
SCALE

1 : 1000 - A4

DRAWING No.

FIGURE D2

H:\26050\_ShaTauKok\DRAWING\26050\_FIGD2\_01 FIGD3\_01 FIGD4\_01 & FIGD5\_00.dwg, 17/6/2026 11:32:44



**LEGEND**

-  SUBJECT SITE BOUNDARY
-  LOCATION OF PHOTO  
no. N TAKEN

TITLE

EXISTING DRAINAGE CONDITIONS AND  
LOCATIONS OF PHOTO TAKEN

何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

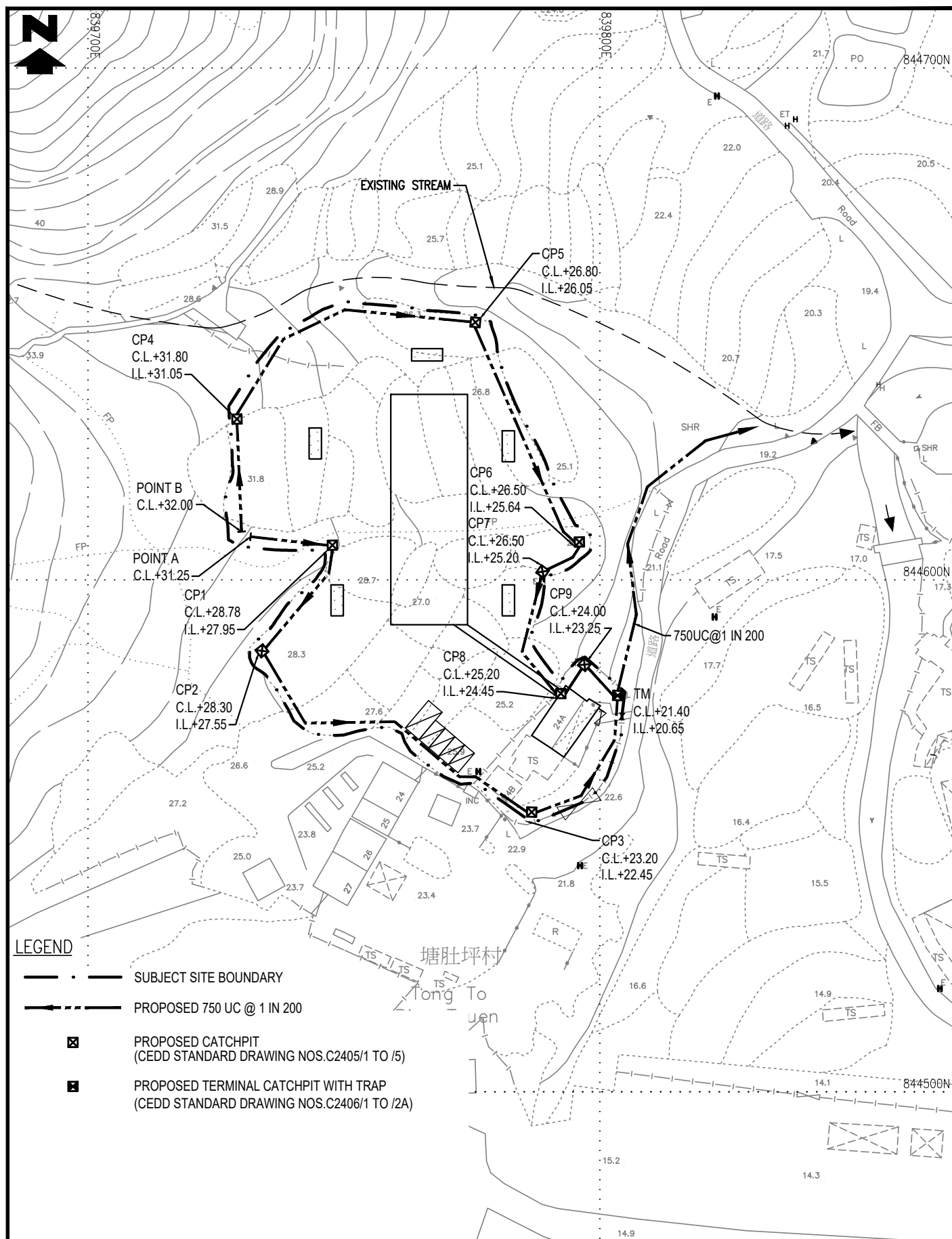
SCALE

1 : 1000 - A4

DRAWING No.

FIGURE D3

H:\26050\_ShaTauKok\DRAWING\26050\_FIGD2\_01 FIGD3\_01 FIGD4\_01 & FIGD5\_00.dwg, 17/6/2026 11:33:27



TITLE

## PROPOSED STORMWATER DRAINAGE LAYOUT PLAN

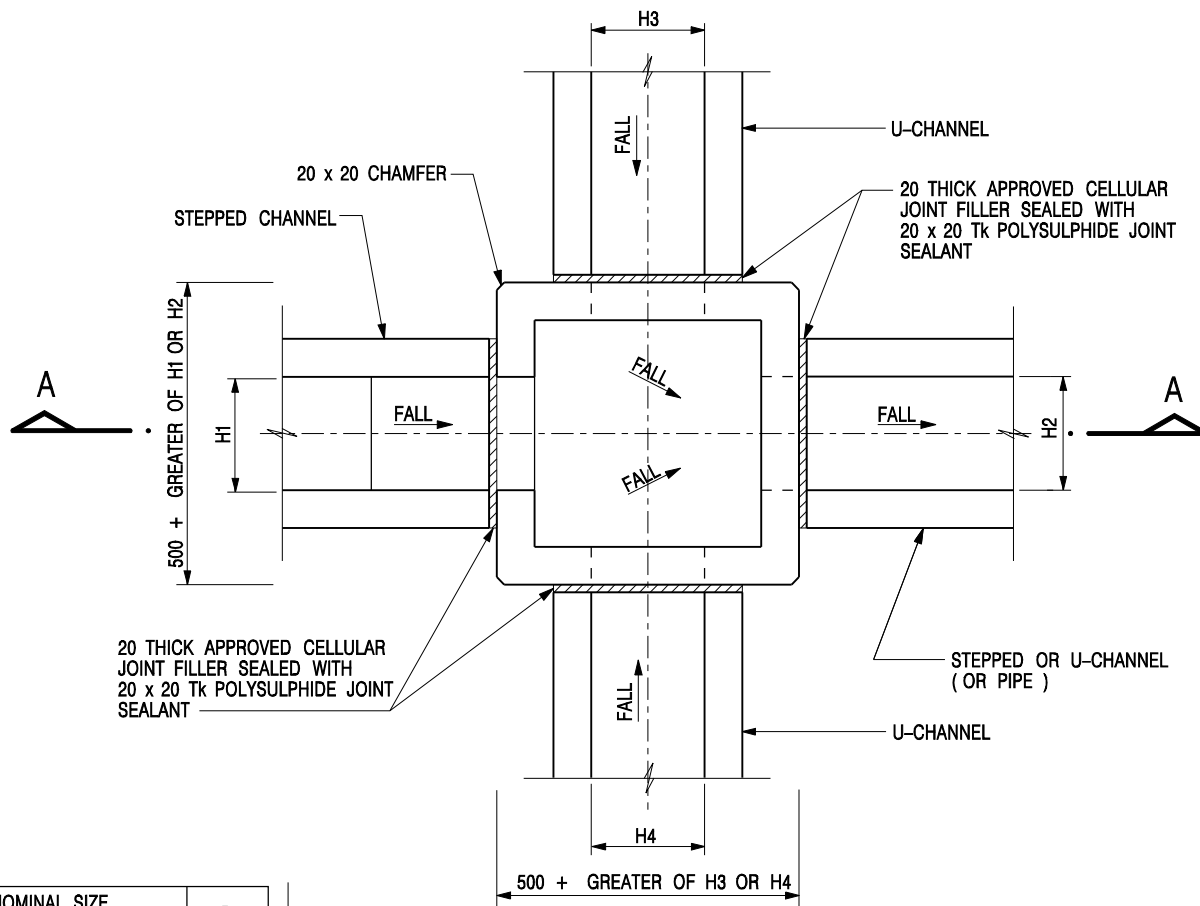
何田顧問工程師有限公司  
**HO TIN & ASSOCIATES**  
CONSULTING ENGINEERS LIMITED

SCALE

1 : 1000 - A4

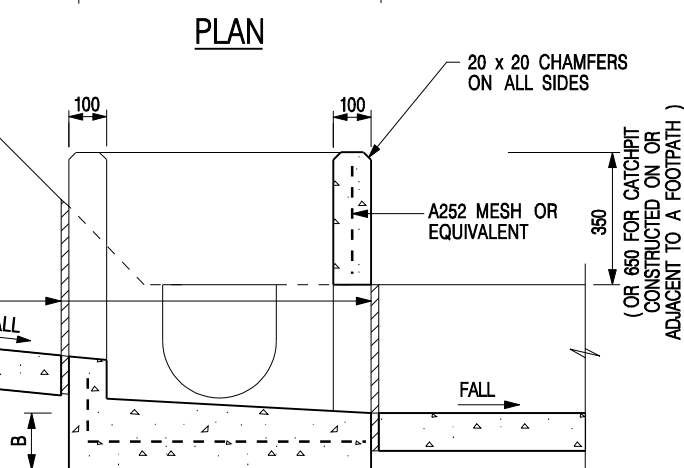
DRAWING No.

FIGURE D4



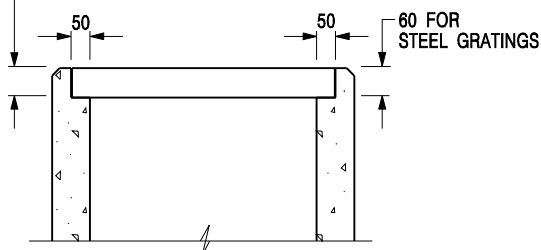
| NOMINAL SIZE<br>(LARGEST OF H1, H2, H3 & H4) | B   |
|----------------------------------------------|-----|
| 300 - 600                                    | 150 |
| 675 - 900                                    | 175 |

20 THICK APPROVED CELLULAR JOINT FILLER SEALED WITH 20 x 20 Tk POLYSULPHIDE JOINT SEALANT



### SECTION A - A

DEPTH OF RECESS AND DETAILS OF PRECAST CONCRETE COVERS (SEE STD. DRG. NO. C2407)



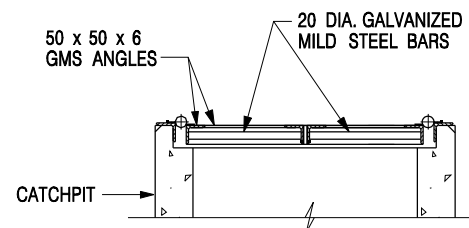
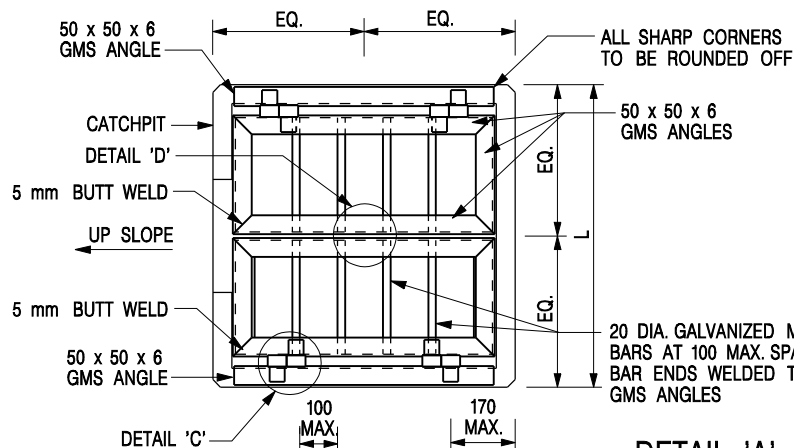
### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

## STANDARD CATCHPIT DETAILS (SHEET 1 OF 5)

|                                                                                                                                             |                         |                                             |         |
|---------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|---------------------------------------------|---------|
| -                                                                                                                                           | FORMER DRG. NO. C2405J. | Original Signed                             | 03.2015 |
| REF.                                                                                                                                        | REVISION                | SIGNATURE                                   | DATE    |
|  <b>CIVIL ENGINEERING AND<br/>DEVELOPMENT DEPARTMENT</b> |                         | <b>SCALE</b> 1 : 20<br><b>DATE</b> JAN 1991 |         |
|                                                                                                                                             |                         | <b>DRAWING NO.</b><br><b>C2405 /1</b>       |         |

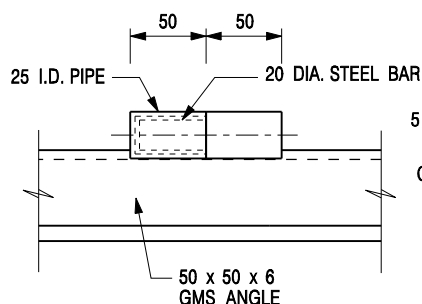


**SECTIONAL ELEVATION**

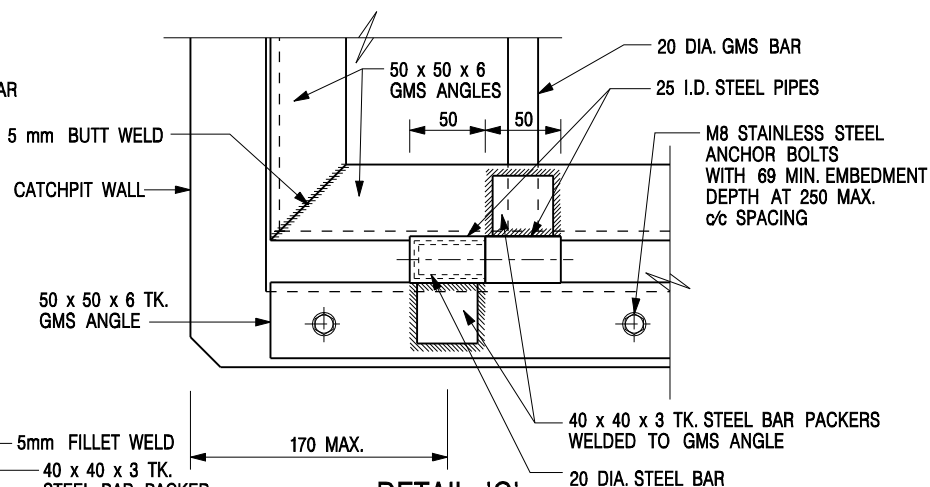
**DETAIL 'A'**

(DETAILS OF DOUBLE SIDE OPENING STEEL GRATING FOR  $L > 900\text{mm}$ )

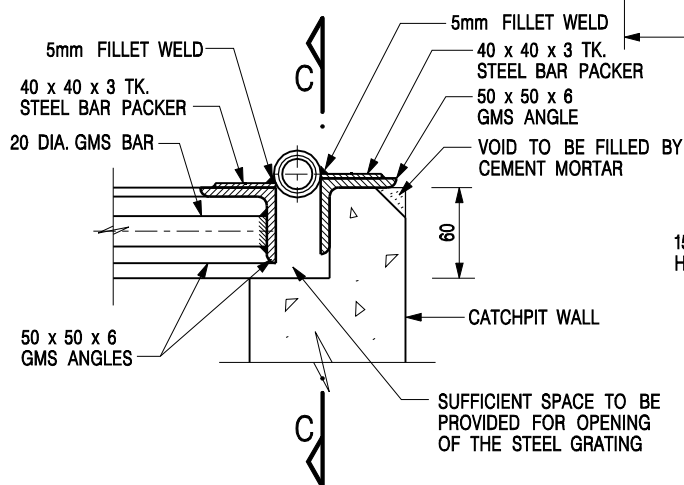
SCALE 1 : 20



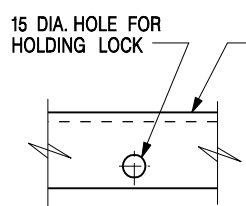
**SECTION C - C**



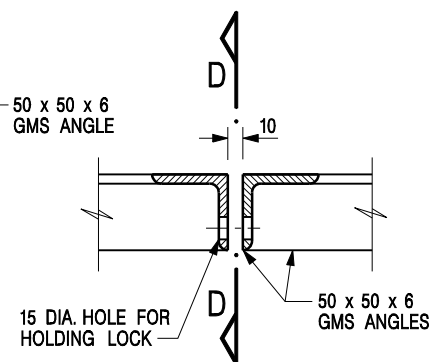
**DETAIL 'C'**  
(DETAILS OF HINGE)  
SCALE 1 : 5



**SECTIONAL ELEVATION**  
(DETAIL 'C')



**SECTION D - D**



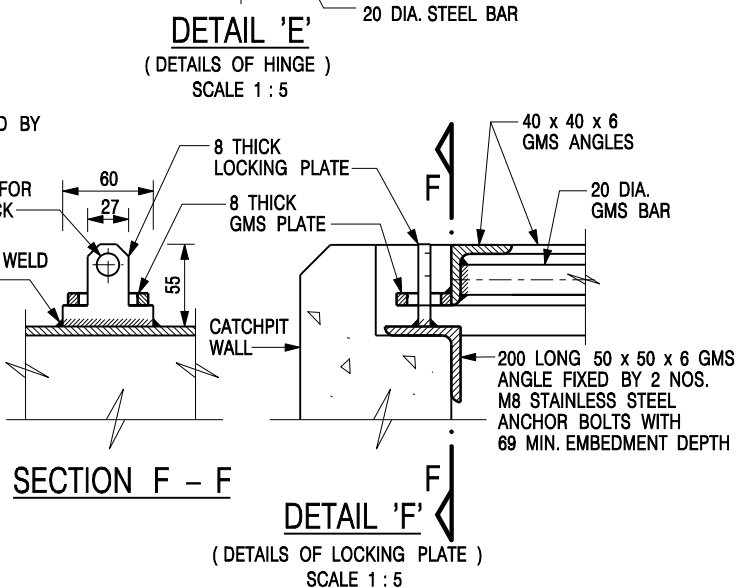
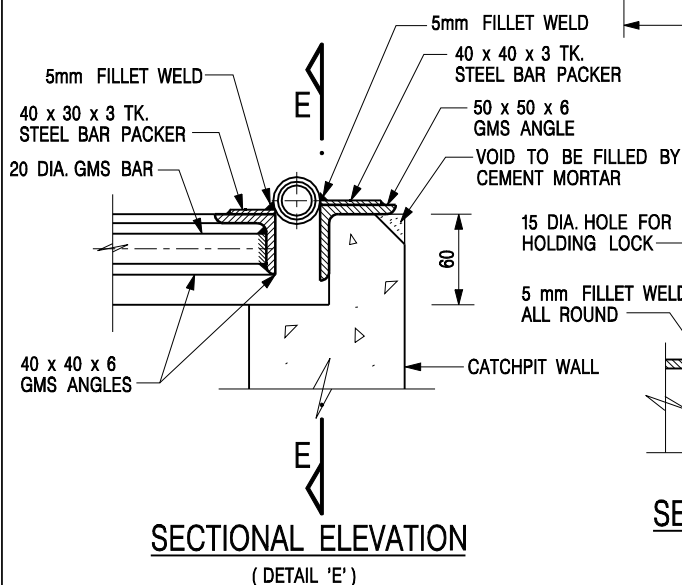
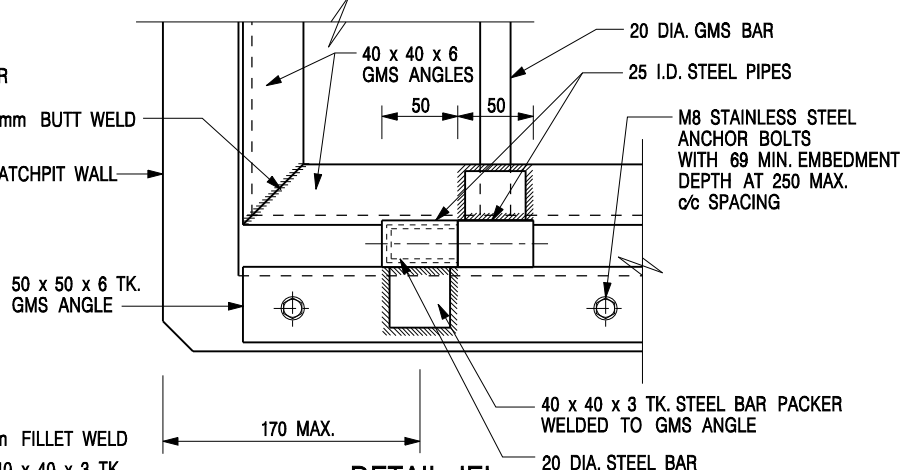
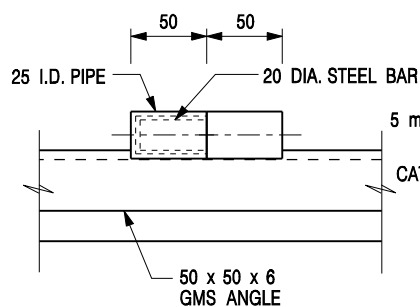
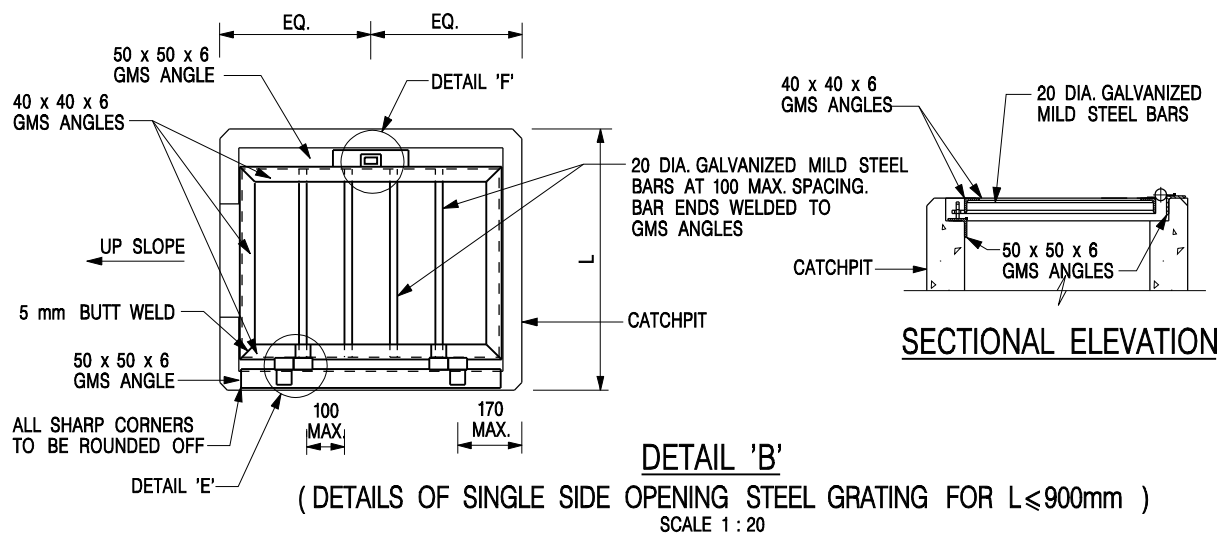
**DETAIL 'D'**  
(DETAILS OF HOLE FOR LOCK)  
SCALE 1 : 5

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

**STANDARD CATCHPIT DETAILS**  
(SHEET 2 OF 5)

|                                                                                                                                         |                         |                                               |         |
|-----------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------------------------------------------|---------|
| -                                                                                                                                       | FORMER DRG. NO. C2405J. | Original Signed                               | 03.2015 |
| REF.                                                                                                                                    | REVISION                | SIGNATURE                                     | DATE    |
|  <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b> |                         | <b>SCALE</b> AS SHOWN<br><b>DATE</b> JAN 1991 |         |
|                                                                                                                                         |                         | <b>DRAWING NO.</b><br><b>C2405 /2</b>         |         |

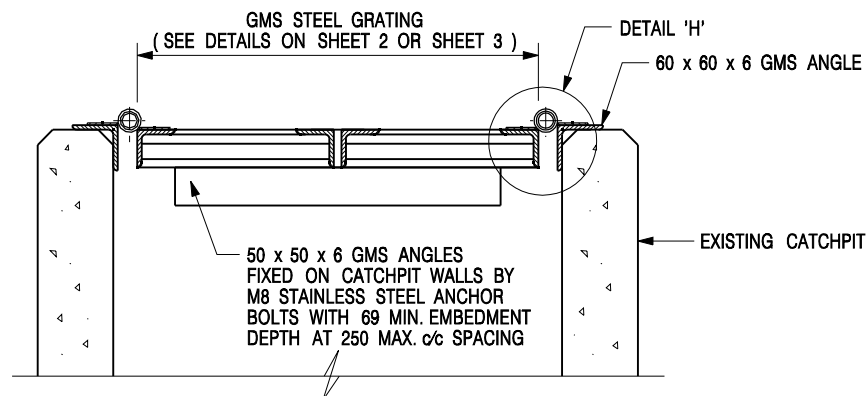


**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

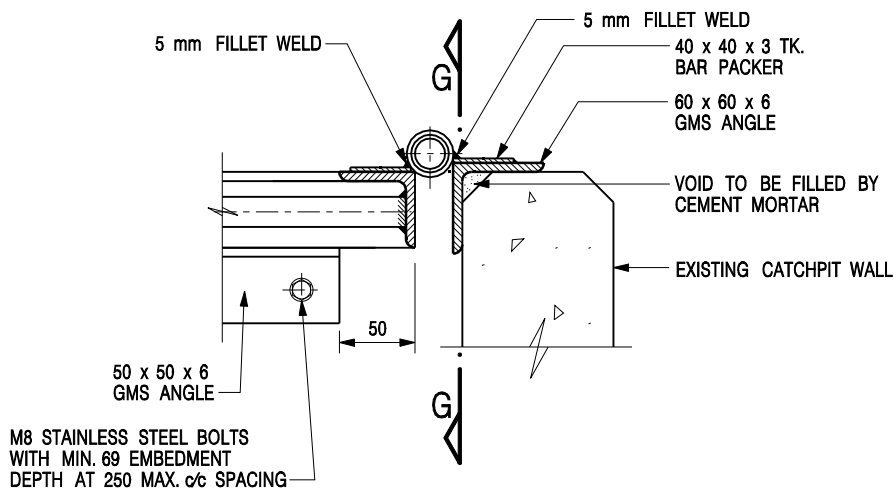
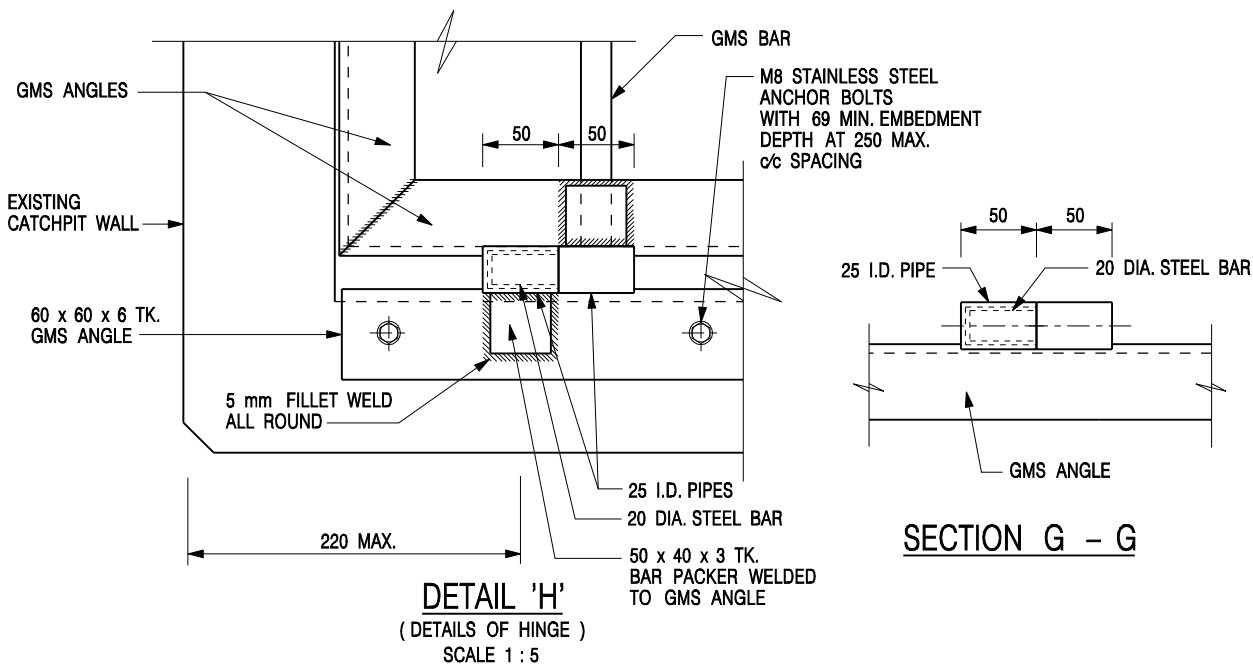
**STANDARD CATCHPIT DETAILS**  
(SHEET 3 OF 5)

|                                                                                                                                         |                         |                                               |         |
|-----------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------------------------------------------|---------|
| -                                                                                                                                       | FORMER DRG. NO. C2405J. | Original Signed                               | 03.2015 |
| REF.                                                                                                                                    | REVISION                | SIGNATURE                                     | DATE    |
|  <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b> |                         | <b>SCALE AS SHOWN</b><br><b>DATE JAN 1991</b> |         |
|                                                                                                                                         |                         | <b>DRAWING NO.</b><br><b>C2405 /3</b>         |         |



### DETAIL 'G' - DETAILS OF STEEL GRATING CONSTRUCTED ON EXISTING CATCHPIT

SCALE 1 : 10

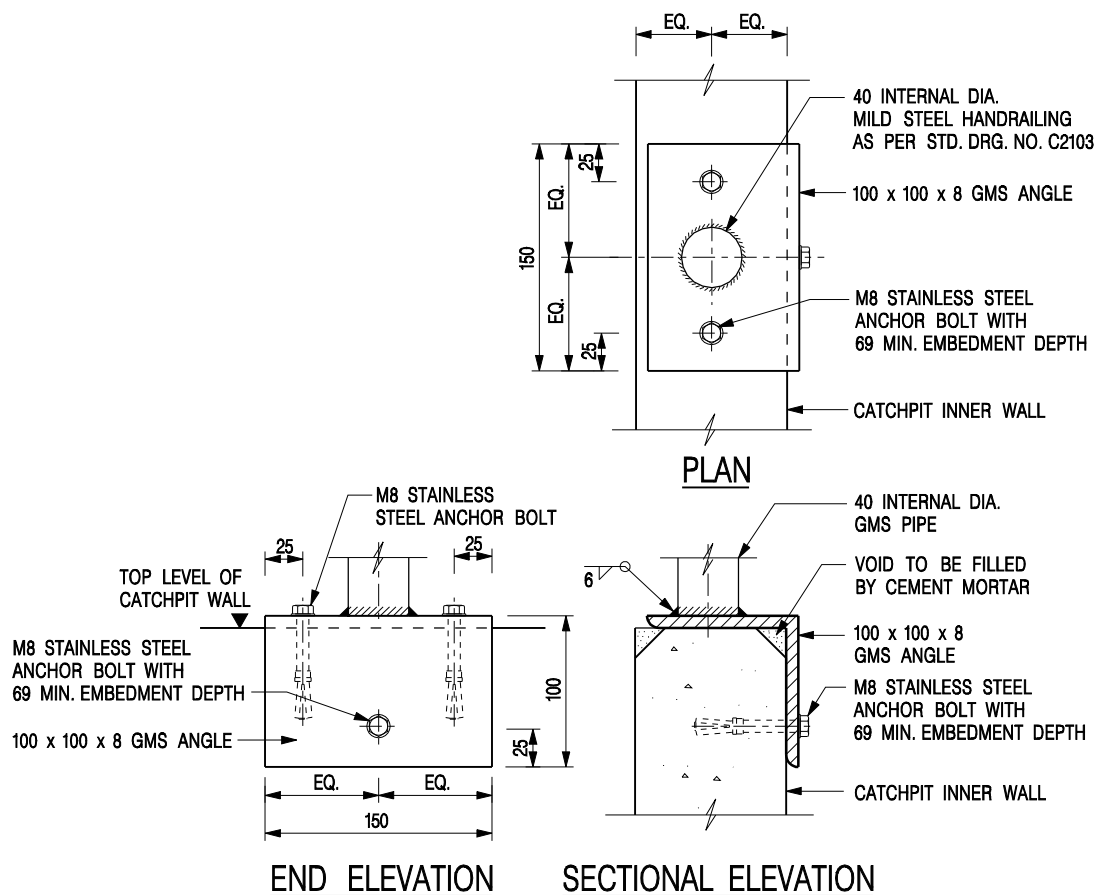


#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 5 FOR OTHER NOTES.

STANDARD CATCHPIT DETAILS  
(SHEET 4 OF 5)

|                                                                                                                                                            |                         |                         |         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-------------------------|---------|
| -                                                                                                                                                          | FORMER DRG. NO. C2405J. | Original Signed         | 03.2015 |
| REF.                                                                                                                                                       | REVISION                | SIGNATURE               | DATE    |
| <div><div>CIVIL ENGINEERING AND<br/>DEVELOPMENT DEPARTMENT</div></div> |                         |                         |         |
| SCALE AS SHOWN                                                                                                                                             |                         | DRAWING NO.<br>C2405 /4 |         |
| DATE JAN 1991                                                                                                                                              |                         |                         |         |



### DETAIL 'J' – FIXING DETAILS FOR HANDRAILING ON TOP OF CATCHPIT WALL

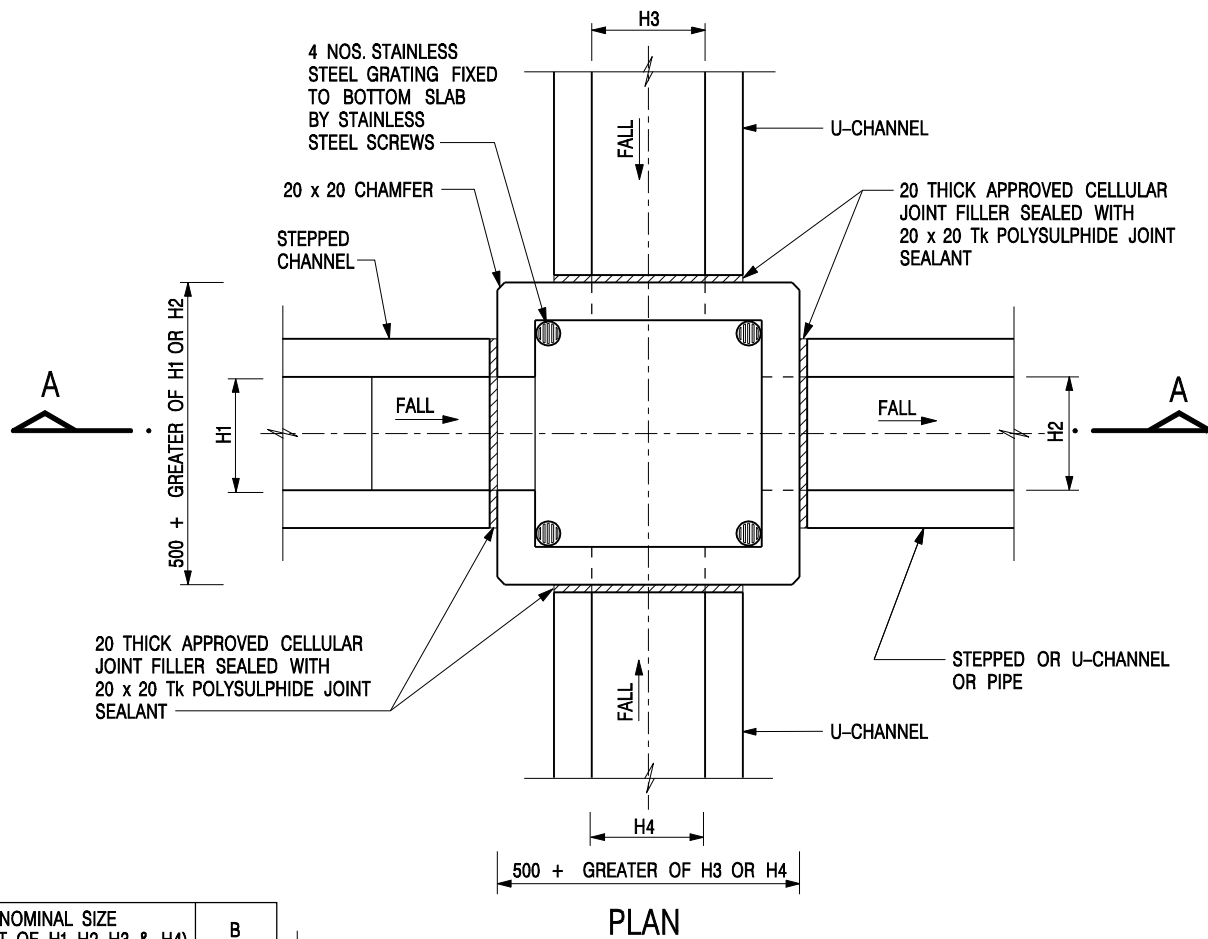
SCALE 1 : 5

#### NOTES:

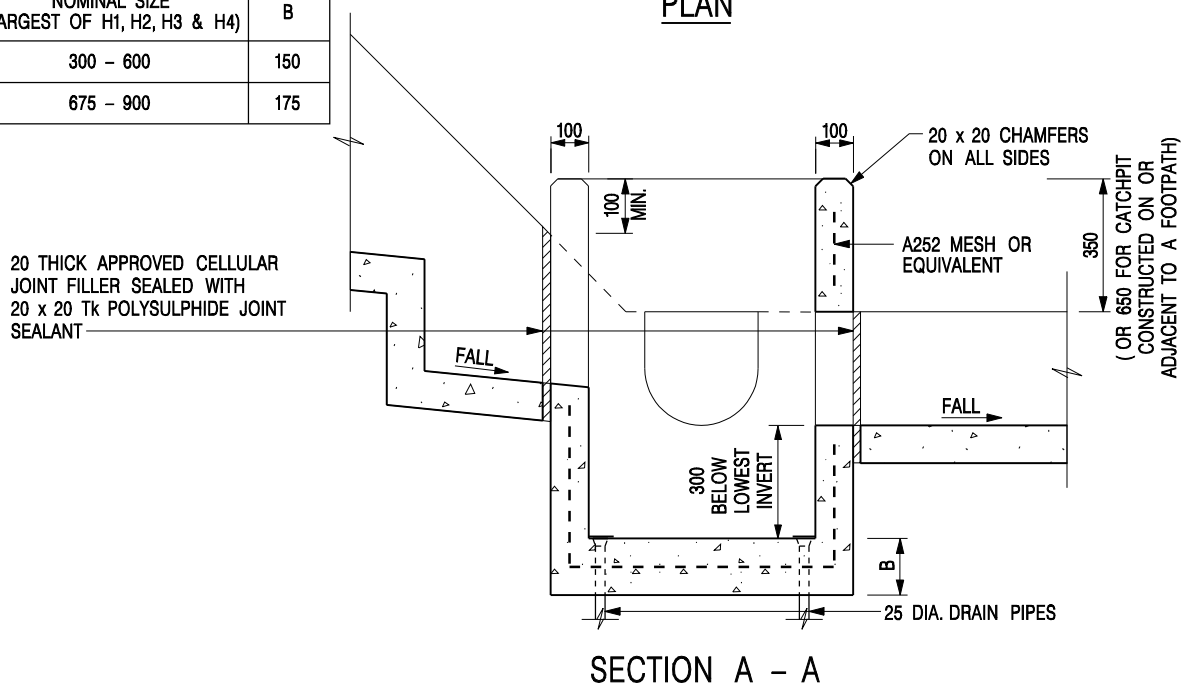
- ALL DIMENSIONS ARE IN MILLIMETRES.
- ALL CONCRETE SHALL BE GRADE 20 /20.
- CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
- FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
- CONCRETE TO BE COLOURED AS SPECIFIED.
- FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS (SEE DETAILS ON SHEET 2 OR SHEET 3 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
- IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'J' ON SHEET 5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
- MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 mm c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
- FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON SHEET 4.
- ALL STEEL ANGLES SHALL COMPLY WITH BS EN 10025 AND BS EN 10056.
- UNLESS OTHERWISE SPECIFIED, ALL WELDS SHALL BE 5 mm CONTINUOUS FILLET WELDS.
- ALL WELDS SHALL BE CHIPPED, GROUND SMOOTH, BRUSHED TO REMOVE SLAG PRIOR TO HOT-DIP GALVANIZATION.
- ALL STEELWORK SHALL BE HOT-DIP GALVANIZED TO BS EN ISO 1461. ALL EXPOSED STEELWORK SURFACES SHALL BE TREATED AND PAINTED IN ACCORDANCE WITH THE GENERAL SPECIFICATION.
- SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

STANDARD CATCHPIT DETAILS  
(SHEET 5 OF 5)

|                                                                                                                                         |                         |                                               |         |
|-----------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------------------------------------------|---------|
| -                                                                                                                                       | FORMER DRG. NO. C2405J. | Original Signed                               | 03.2015 |
| REF.                                                                                                                                    | REVISION                | SIGNATURE                                     | DATE    |
|  <b>CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT</b> |                         | <b>SCALE</b> AS SHOWN<br><b>DATE</b> JAN 1991 |         |
|                                                                                                                                         |                         | <b>DRAWING NO.</b><br><b>C2405 /5</b>         |         |



| NOMINAL SIZE<br>(LARGEST OF H1, H2, H3 & H4) | B   |
|----------------------------------------------|-----|
| 300 - 600                                    | 150 |
| 675 - 900                                    | 175 |



**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. REFER TO SHEET 2 FOR OTHER NOTES.

**CATCHPIT WITH TRAP**  
(SHEET 1 OF 2)

|      |                         |                 |         |
|------|-------------------------|-----------------|---------|
| -    | FORMER DRG. NO. C2406J. | Original Signed | 03.2015 |
| REF. | REVISION                | SIGNATURE       | DATE    |



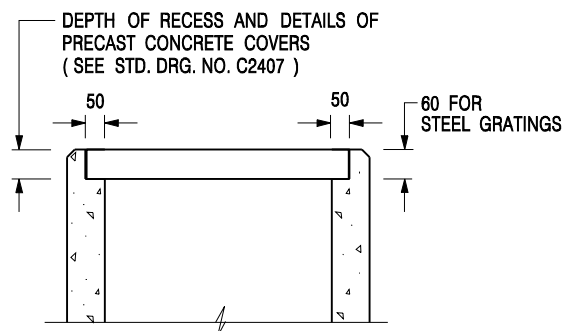
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**

**C2406 /1**



### ALTERNATIVE TOP SECTION FOR PRECAST CONCRETE COVERS / GRATINGS

#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE SHALL BE GRADE 20 /20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2 OR F2 AS APPROPRIATE.
4. FOR DETAILS OF JOINT, REFER TO STD. DRG. NO. C2413.
5. CONCRETE TO BE COLOURED AS SPECIFIED.
6. UNLESS REQUESTED BY THE MAINTENANCE PARTY AND AS DIRECTED BY THE ENGINEER, CATCHPIT WITH TRAP IS NORMALLY NOT PREFERRED DUE TO PONDING PROBLEM.
7. UPON THE REQUEST FROM MAINTENANCE PARTY, DRAIN PIPES AT CATCHPIT BASE CAN BE USED BUT THIS IS FOR CATCHPITS LOCATED AT SLOPE TOE ONLY AND AS DIRECTED BY THE ENGINEER.
8. FOR CATCHPITS CONSTRUCTED ON OR ADJACENT TO A FOOTPATH, STEEL GRATINGS ( SEE DETAIL 'A' ON STD. DRG. NO. C2405 /2 ) OR CONCRETE COVERS ( SEE STD. DRG. NO. C2407 ) SHALL BE PROVIDED AS DIRECTED BY THE ENGINEER.
9. IF INSTRUCTED BY THE ENGINEER, HANDRAILING ( SEE DETAIL 'J' ON STD. DRG. NO. C2405 /5; EXCEPT ON THE UPSLOPE SIDE ) IN LIEU OF STEEL GRATINGS OR CONCRETE COVERS CAN BE ACCEPTED AS AN ALTERNATIVE SAFETY MEASURE FOR CATCHPITS NOT ON A FOOTPATH NOR ADJACENT TO IT. TOP OF THE HANDRAILING SHALL BE 1 000 mm MIN. MEASURED FROM THE ADJACENT GROUND LEVEL.
10. MINIMUM INTERNAL CATCHPIT WIDTH SHALL BE 1 000 mm FOR CATCHPITS WITH A HEIGHT EXCEEDING 1 000 mm MEASURED FROM THE INVERT LEVEL TO THE ADJACENT GROUND LEVEL. AND, STEP IRONS ( SEE DSD STD. DRG. NO. DS1043 ) AT 300 c/c STAGGERED SHALL BE PROVIDED. THICKNESS OF CATCHPIT WALL FOR INSTALLATION OF STEP IRONS SHALL BE INCREASED TO 150 mm.
11. FOR RETROFITTING AN EXISTING CATCHPIT WITH STEEL GRATING, SEE DETAIL 'G' ON STD. DRG. NO. C2405 /4.
12. SUBJECT TO THE APPROVAL OF THE ENGINEER, OTHER MATERIALS CAN ALSO BE USED AS COVERS / GRATINGS.

|             |                         |                  |             |
|-------------|-------------------------|------------------|-------------|
| A           | MINOR AMENDMENT.        | Original Signed  | 04.2016     |
| -           | FORMER DRG. NO. C2406J. | Original Signed  | 03.2015     |
| <b>REF.</b> | <b>REVISION</b>         | <b>SIGNATURE</b> | <b>DATE</b> |

**CATCHPIT WITH TRAP  
(SHEET 2 OF 2)**



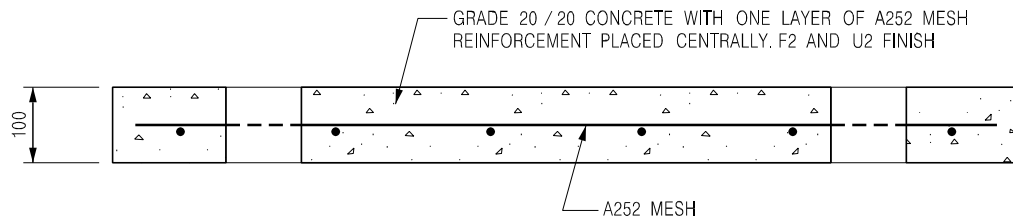
**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

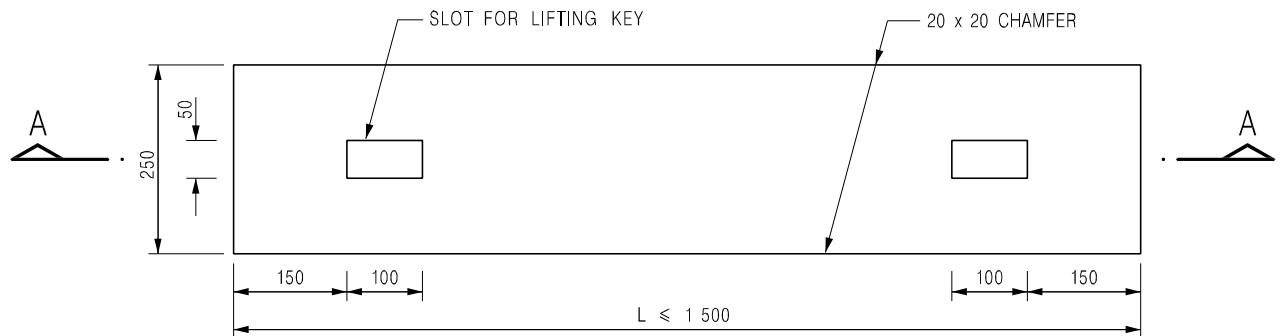
**DATE** JAN 1991

**DRAWING NO.**

**C2406 /2A**

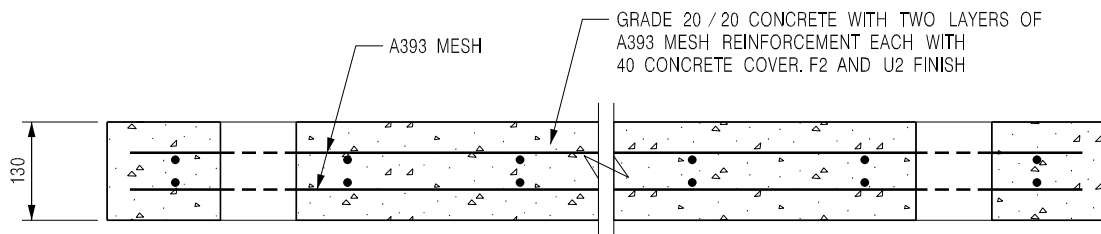


**SECTION A - A**

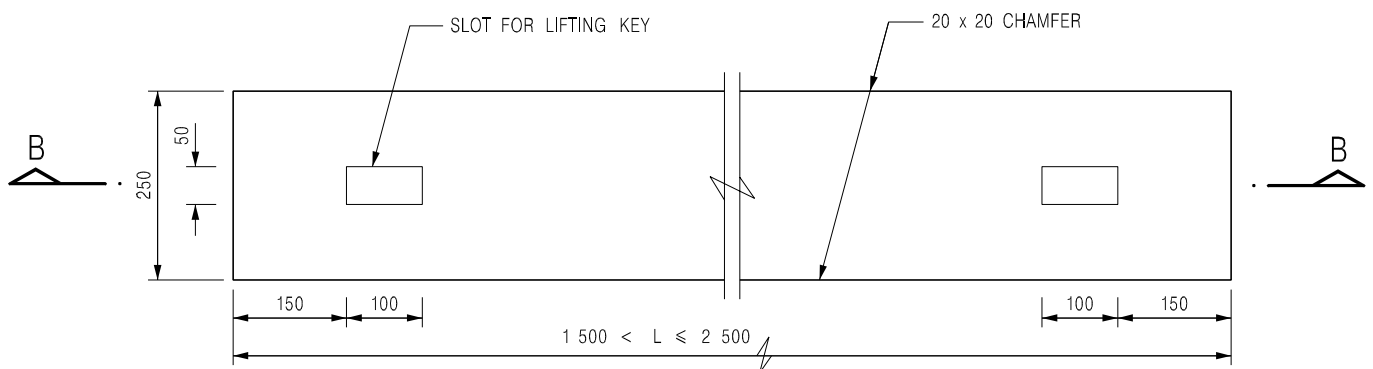


**PLAN**

**TYPE 1 - FOR SPAN UP TO 1.5 m**



**SECTION B - B**



**PLAN**

**TYPE 2 - FOR SPANS 1.5 m TO 2.5 m**

**NOTES:**

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL EXTERNAL EDGES OF THE COVERS SHALL BE 20mm CHAMFERED.

|      |                             |                 |         |
|------|-----------------------------|-----------------|---------|
| B    | NAME OF DEPARTMENT AMENDED. | Original Signed | 01.2005 |
| A    | GENERAL REVISION            | Original Signed | 12.2002 |
| REF. | REVISION                    | SIGNATURE       | DATE    |

**PRECAST CONCRETE COVERS  
FOR CATCHPIT AND SAND TRAP**

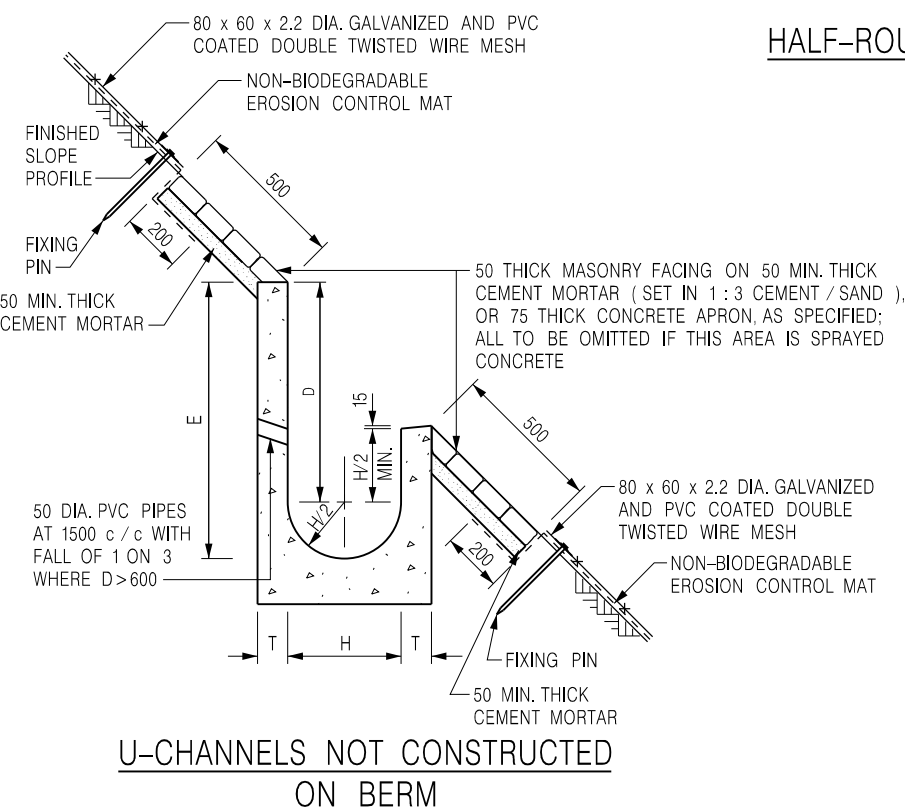
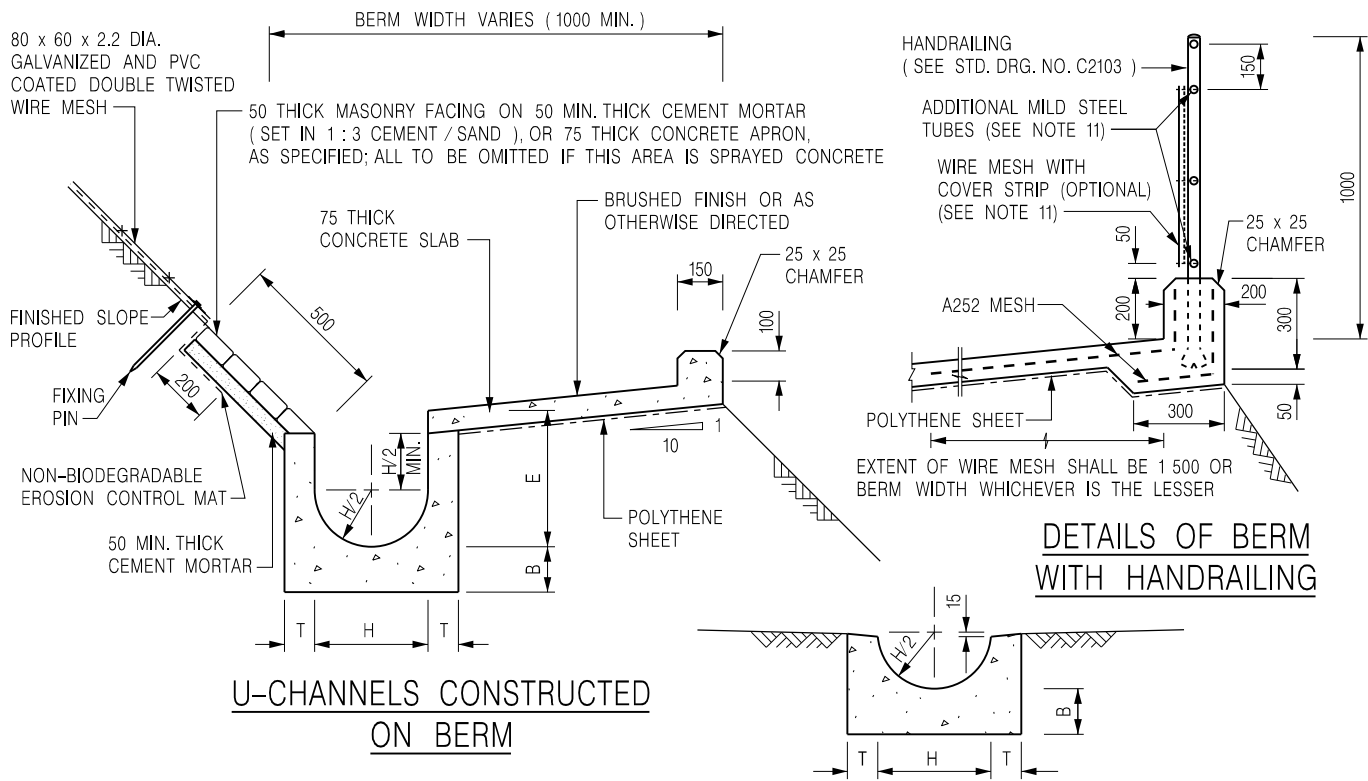


**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 10

**DATE** JAN 1991

**DRAWING NO.**  
**C2407B**



#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES.
2. ALL CONCRETE TO BE GRADE 20 / 20.
3. CONCRETE SURFACE FINISH SHALL BE CLASS U2, F2 OR BRUSHED FINISH AS DIRECTED.
4. SPACING OF EXPANSION JOINT IN CHANNELS, BERM SLABS AND APRONS TO BE 10 METRES MAXIMUM, SEE STD. DRG. NO. C2413 FOR DETAILS.
5. JOINTS FOR CHANNELS, BERM SLABS, APRONS AND WALLS, ETC. TO BE ON THE SAME ALIGNMENT.
6. FOR DIMENSIONS T, H, & B, SEE TABLE BELOW.
7. BIODEGRADABLE EROSION CONTROL MAT IF REQUIRED, SEE STD. DRG. NO. C2511/E.
8. CONCRETE TO BE COLOURED AS SPECIFIED.
9. CONCRETE U-CHANNEL CAN BE CAST IN-SITU OR PRECAST CONCRETE SUBJECT TO THE ENGINEER'S AGREEMENT ON THE DETAILS.
10. DETAILS OF EROSION CONTROL MAT AND WESH MESH ON BERM. (SEE STD. DRG. NO. C2511/E)
11. THE WIRE MESH ON HANDRAILING IS OPTIONAL. THE COVER STRIP AND ADDITIONAL MILD STEEL TUBES ARE NEEDED ONLY IF WIRE MESH IS PROVIDED. (SEE STD. DRG. NO. C2103)

| NOMINAL SIZE<br>H | T   | B   | REINFORCEMENT                                   |
|-------------------|-----|-----|-------------------------------------------------|
| 300               | 80  | 100 | A252 MESH PLACED CENTRALLY AND T=100 WHEN E>650 |
| 375 - 600         | 100 | 150 |                                                 |
| 675 - 900         | 125 | 175 | A252 MESH PLACED CENTRALLY                      |

|      |                                      |                 |         |
|------|--------------------------------------|-----------------|---------|
| J    | DETAILS OF HANDRAILING AMENDED.      | Original Signed | 08.2024 |
| I    | MINOR AMENDMENT.                     | Original Signed | 07.2018 |
| H    | THICKNESS OF MASONRY FACING AMENDED. | Original Signed | 01.2005 |
| G    | MINOR AMENDMENT.                     | Original Signed | 01.2004 |
| F    | GENERAL REVISION.                    | Original Signed | 12.2002 |
| REF. | REVISION                             | SIGNATURE       | DATE    |

DETAILS OF HALF-ROUND AND U-CHANNELS ( TYPE A - WITH MASONRY APRON )



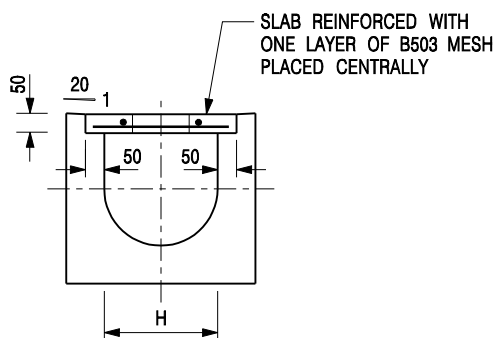
CIVIL ENGINEERING AND DEVELOPMENT DEPARTMENT

SCALE 1 : 25

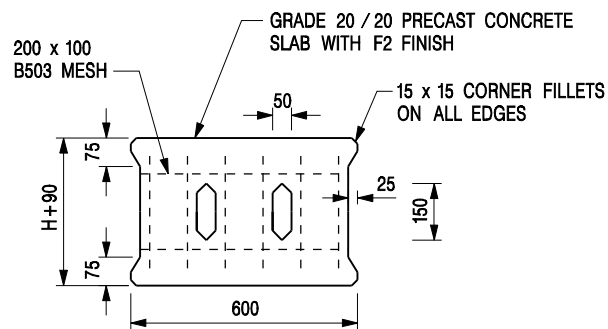
DATE JAN 1991

DRAWING NO.

C2409J



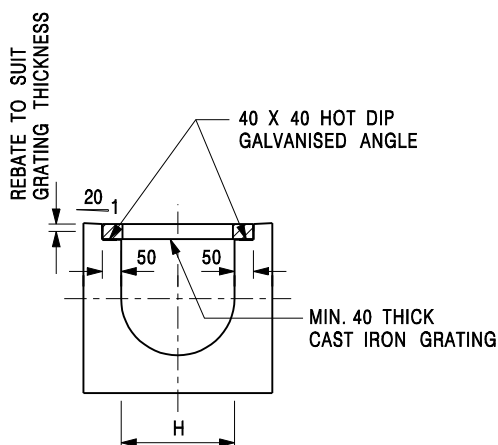
TYPICAL SECTION



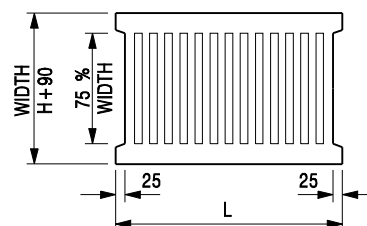
PLAN OF SLAB

### U-CHANNELS WITH PRECAST CONCRETE SLABS

(UP TO H OF 525)



TYPICAL SECTION



L = 600mm FOR H ≤ 375mm  
L = 400mm FOR H > 375mm

CAST IRON GRATING

(DIMENSIONS ARE FOR GUIDANCE ONLY, CONTRACTOR MAY SUBMIT EQUIVALENT TYPE)

### U-CHANNEL WITH CAST IRON GRATING

(UP TO H OF 525)

#### NOTES:

- ALL DIMENSIONS ARE IN MILLIMETRES.
- H=NOMINAL CHANNEL SIZE.
- ALL CAST IRON FOR GRATINGS SHALL BE GRADE EN-GJL-150 COMPLYING WITH BS EN 1561.
- FOR COVERED CHANNELS TO BE HANDED OVER TO HIGHWAYS DEPARTMENT FOR MAINTENANCE, THE GRATING DETAILS SHALL FOLLOW THOSE AS SHOWN ON HyD STD. DRG. NO. H3156.

| E    | NOTES 3 & 4 AMENDED.           | Original Signed | 12.2014 |
|------|--------------------------------|-----------------|---------|
| D    | NOTE 4 ADDED.                  | Original Signed | 06.2008 |
| C    | MINOR AMENDMENT. NOTE 3 ADDED. | Original Signed | 12.2005 |
| B    | NAME OF DEPARTMENT AMENDED.    | Original Signed | 01.2005 |
| A    | CAST IRON GRATING AMENDED.     | Original Signed | 12.2002 |
| REF. | REVISION                       | SIGNATURE       | DATE    |

COVER SLAB AND CAST IRON  
GRATING FOR CHANNELS



**CIVIL ENGINEERING AND  
DEVELOPMENT DEPARTMENT**

**SCALE** 1 : 20

**DATE** JAN 1991

**DRAWING NO.**  
**C2412E**